

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
MARCH 23, 2015**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the March 9, 2015 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #15-06 FOR THE FOLLOWING COMPREHENSIVE PLAN AMENDMENTS** for the request of Leah Berlin on behalf of Kwik Trip, Inc. related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H: 1) to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property identified as Tax Parcel Number 91-4-122-081-0010 to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.
 - B. Consider the request of Leah Berlin on behalf of Kwik Trip, Inc. for approval of a **Certified Survey Map** to combine two parcels related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H (Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105).
 - C. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENT** for the requests of Leah Berlin on behalf of Kwik Trip, Inc for the proposed Kwik Trip gasoline, convenience store and car wash facility to be located at the southwest corner of 75th Street (STH 50) and 88th Avenue (CTH H) to rezone Tax Parcel Number 91-4-122-081-0010 from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD), Community Commercial District with a Planned Unit Development Overlay District so that both properties being developed for the proposed Kwik Trip will have the same zoning designations. In addition a Zoning Text Amendment is requested to amend the existing Prairie Ridge Planned Unit Development to include the entire Kwik Trip property within the PUD (Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105).
 - D. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATION PLANS AND DIGITAL SECURITY IMAGING SYSTEM AGREEMENT AND ACCESS EASEMENT** for the request of Leah Berlin on behalf of Kwik Trip, Inc. related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H for the proposed development of a 10,150 square foot Kwik Trip gasoline and convenience store with an attached carwash facility on Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105.
 - E. Consider **Plan Commission Resolution #15-07** to initiate a zoning text amendment to amend zoning fees.
 - F. Consider **Plan Commission Resolution #15-08** to initiate a zoning text amendment related to Home Occupation Permits.

- G. Consider **Plan Commission Resolution #15-09** to initiate a zoning text amendment related to a clarification in the Pet and Animal regulations related to horses allowed in agricultural districts for lots less than 10 acres but at least five acres.
- H. Consider **Plan Commission Resolution #15-10** to initiate zoning text amendments related to zoning permits and procedures for zoning and sign permits.
- I. Consider **Plan Commission Resolution #15-11** to initiate zoning text amendments related to temporary uses.

7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
March 9, 2015**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on March 9, 2015. Those in attendance were Thomas Terwall; Donald Hackbarth; Wayne Koessler; Deb Skarda (Alternate #2); Jim Bandura; John Braig; Judy Juliana; and Bill Stoebig (Alternate #1). Michael Serpe was excused. Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE FEBRUARY 23, 2015 PLAN COMMISSION MEETING.**

Don Hackbarth:

So moved.

Wayne Koessler:

Second.

Tom Terwall:

MOVED BY DON HACKBARTH AND SECONDED BY WAYNE KOESSL TO APPROVE THE MINUTES OF THE FEBRUARY 23RD MEETING. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**

5. CITIZEN COMMENTS.

Tom Terwall:

If you wish to make a comment for an item that is not on the agenda now would be your opportunity to do so. We would ask you to step to the microphone and begin by giving us your name and address. Otherwise you can wait until an item comes up. Is there anybody wishing to speak under citizens' comments?

6. NEW BUSINESS

A. Consider the request of Peter Kucha, of Eppstein Uhen Architects, Inc., agent for Uline for approval of Preliminary Site and Operational Plans for mass grading and preliminary approval of an office building and site improvements for a Uline Headquarters Office building (H2) generally located at the 11200 block of 120th Avenue (West Frontage Road).

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission and the audience, this is a request from Peter Kucha, of Eppstein Uhen Architects, Inc., agent for Uline for approval of Preliminary Site and Operational Plans for mass grading and preliminary approval of an office building and site improvements for a Uline headquarters office building known as H2 generally located at the 11200 block of 120th Avenue also known as the West Frontage Road.

The petitioner is requesting approval of Preliminary Site and Operational Plans for the mass grading and preliminary approval of an office building and site improvements for a Uline headquarters office building H2 generally located at the 11200 block of 120th Avenue or the West Frontage Road. It's identified as Tax Parcel Numbers, and again there's currently three properties out there, Tax Parcel Numbers 91-4-121-254-0122; the second parcel is 91-4-121-254-0401; and the third parcel is 91-4-121-254-0402.

The properties are currently owned by the Village of Pleasant Prairie Community Development Authority and are intended to be purchased by Uline and combined into one parcel via by a Certified Survey Map and developed with an approximate 298,000 square foot office building. The land lying to the west within the Village identified as Tax Parcel Number 91-4-121-254-0301 will have its public sanitary sewer and water available to it through an easement extended through the Uline property. Access to that same site lying to the west will be from the south from 116th Street.

Pursuant to the application, due to Uline's continued growth, the company needs additional office space to support its operations. Uline sees tremendous operational benefits in locating the new facility on the 37 acre property which is close to its current Corporate Headquarters facility for the following reasons:

- Maintain the company culture. Uline is still a family owned and operated company. By keeping employees close to the family and other employees the company culture is maintained.

- Corporate managers will continue to be located in close proximity to one another at various facilities in Pleasant Prairie. This helps to facilitate impromptu and frequent face to face meetings between managers. This allows for efficient communication and quick decision making which is a cornerstone of Uline's success.
- Department managers that will be located in the new facility, are required to meet frequently and on short notice at the company president's offices at 12575 Uline Drive.
- Many of the staff that will be located in the facility need to visit the various Uline distribution centers and warehouses in Pleasant Prairie to inspect product for quality, review and test new products and meet with vendors.

The detailed site plan that I'll be going through is actually shown on the overhead and in your packets. Again, the red line just delineates where that sewer and water service that is going to be extended from 120th Avenue through their site to get to the land lying to the west. And, again, there's one corporate office building that is shown, a large retention basin that's located just to the east. And then parking in order to service the development.

Uline's proposed H2 Corporate office building project will consist of the following: a building and associated parking will be located on 37.3 acres of land with a 298,000 square foot office building including of which is a 78,000 square foot basement. The building will be three stories. The building design will be very similar to that of Uline's existing H1 headquarters office building. The basement will contain the main electrical and mechanical rooms and storage space. A shipping and receiving area with two loading docks and a compactor bay will be located on the southwest end of the building.

The first floor will include a main lobby, training rooms and an associated breakout area, office space and a fitness center. The second floor will include kitchen and servery and dining space, conference rooms and office space. The third floor will contain office space and some conference rooms. The primary use of the facility is business office use. The building will be provided with four elevators that serve each floor level. Two of the elevators are sized to accommodate ambulance stretchers.

Along the east, north and south elevations the building height will be approximately 61 feet. Along the west elevation where the basement is it will be partially exposed, and the overall building height will be up to 80 feet. The building exterior will consist of precast concrete panels, cedar paneling and ashlar stone veneer with a standing seam metal roof on the pitched roof portions of the building pretty much identical to their existing headquarters. A utility building with pump house, cooling tower and back-up generator will be located south of the office building. That will be treated more like a small accessory structure.

When the building is complete in early 2017, the new corporate office is projected to have 500 initial employees with capacity for 800 employees at full build out. As part of the development, 877 parking spaces will be provided adjacent to the office building.

Notice of intent approvals and permits are required to be submitted to the Village from the Wisconsin DNR and Army Corps of Engineer for any filling on the site. Mass grading on the site

is anticipated based on acquiring all the appropriate approvals sometime around June of this year with substantial completion anticipated for January or early in 2017.

The properties are currently zoned M-5, which is the new district that we had created a few years ago, Production and Manufacturing District, which allows for an office building as proposed. In addition, a portion of the property is also located within the 100-year floodplain. And the petitioners intend to amend the location of the 100-year floodplain as well as mitigate any other areas as needed on the site for development with the appropriate approvals.

The Floodplain Boundary Adjustment application is proposed to be filed later this spring. This site is also subject to shoreland regulations, which requires a Stipulated Shoreland Permit to be issued by the Village for any work completed within 75 feet of the Ordinary High Water Mark of the navigable waterway that lies to the south. Final Site and Operational Plans along with the certified survey map and all the other detailed plans will be required to be submitted to the Village for review and approval for the detailed building and site improvements on the site.

With that we do have representatives here from Uline as well as their architect and civil engineering firms. And I'd just like to begin by introducing Peter Kucha who is the architect for the project to answer any questions that you might have regarding the architecture or the design. And, again, there are other representatives here that could answer any other questions that you may have.

Tom Terwall:

Welcome.

Peter Kucha:

Good evening. My name is Peter Kucha with Eppstein Uhen Architects, 333 East Chicago Street, Milwaukee, Wisconsin.

Tom Terwall:

Anything you wanted to add?

Peter Kucha:

I think Jean provided a good summary overview of the project extent. And I'm just here to answer any questions you might have.

Tom Terwall:

Okay, thank you. Before I open it up to comments and questions from the staff, I'll see if there's anybody in the audience. Anybody wishing to speak on this matter? Anybody wishing to speak? Hearing none, I'm going to open it up to comments and questions from the staff.

Wayne Koessl:

I'm just glad they're doing another office building here.

John Braig:

I've got one comment. Wow.

Wayne Koessl:

Mr. Chairman, if there aren't any more comments I move approval.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO GRANT APPROVAL TO THE PRELIMINARY SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Don Hackbarth:

Are you going to have shuttle buses for the 870 parking spaces? That's a lot of parking spaces.

Peter Kucha:

It is, but it's very comparable to what they currently have at headquarters.

Tom Terwall:

Thank you very much.

Peter Kucha:

Thank you.

B. Consider the request of John Semcken III, Senior Vice President of Majestic Realty Co. for approval of a one year time extension of the Site and Operational Plans as conditionally approved by the Plan Commission on May 13, 2014 for the Majestic Center Development on 88th Avenue about ¼ mile south of Bain Station Road.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, this is the request of John Semcken III, Senior Vice President of Majestic Realty Company, for approval of a one year time extension of the Site and Operational Plans as conditionally approved by the Plan Commission on May 13, 2014 for the Majestic Center Development on 88th Avenue about one quarter mile south of Bain Station Road.

On May 13, 2013, the Plan Commission conditionally approved Site and Operational Plans for the petitioner to develop the vacant property generally located approximately one quarter mile south of Bain Station Road on the east side of 88th Avenue. The parcel is identified as Tax Parcel Number 92-4-122-162-0301. This approval was for the construction of a 1,180,480 square foot warehouse and distribution building. The speculative industrial building is referred to as Majestic Badger Logistic Center. The Plan Commission conditionally approved the Site and Operational Plans for one year until May 13, 2014 subject to the conditions specified in the attached approval letter dated June 4, 2013.

On May 12, 2014, the Village Plan Commission. granted a one year extension until May 13, 2015 of the Site and Operational Plans for the proposed 1,180,480 square foot warehouse/distribution center, again, Majestic Badger Logistic Center subject to compliance with the June 4, 2013 approval letter and compliance with any Village Ordinance amendments made since the May 13, 2013 original approval. At this time the petitioner is requesting another one year extension until May 13, 2016 of said Site and Operational Plans.

Staff recommends approval and requests that the Plan Commission grant the one year extension until May 13, 2016 based on the site and operation plans for the distribution facility, again, subject to compliance with the June 4, 2013 approval letter and compliance with any ordinance and amendments that may be made or have been made since May 13, 2013.

Tom Terwall:

Jean, do we have any maximum number of these extensions we'll grant?

Jean Werbie-Harris:

It's up to the Plan Commission.

Tom Terwall:

But there's nothing in the regulations?

Jean Werbie-Harris:

No.

Tom Terwall:

Is there anybody wishing to speak on this matter? Anybody wishing to speak?

Don Hackbarth:

I move we approve this.

Wayne Koessl:

Second.

Tom Terwall:

Go ahead, John.

John Braig:

They're just asking for an extension. No changed, no modifications?

Jean Werbie-Harris:

Not at this time.

John Braig:

Nothing different?

Jean Werbie-Harris:

Not at this time.

Bill Stoebig:

What kind of action happens if it doesn't get extended?

Jean Werbie-Harris:

Then it automatically is denied, and then they would have to start the site and operational plan process over. Any zoning would remain in place and neighborhood plan and comprehensive plan, those steps would stay in place. But their site and operational plans they would expire, and they would have to reapply for site and operational plans. And, to be honest, if they do make any modifications to the site and operational plans they would come back to the Plan Commission for reapproval.

Bill Stoebig:

I would move to accept.

Tom Terwall:

Go ahead, John.

John Braig:

I'm done, thank you.

Tom Terwall:

We have a motion.

Bill Stoebig:

I motioned to extend.

Tom Terwall:

Is there a second?

Judy Juliana:

Second.

Tom Terwall:

MOVED BY BILL STOEBIG AND BY JUDY JULIANA SECONDED TO APPROVE THE ONE YEAR EXTENSION OF THE PRELIMINARY SITE AND OPERATIONAL PLAN SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

7. ADJOURN.

John Braig:

Move adjournment.

Judy Juliana:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We're out of here.

Meeting Adjourned: 6:13 p.m.

VILLAGE STAFF REPORT OF MARCH 23, 2015

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

- A. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #15-06 FOR THE FOLLOWING COMPREHENSIVE PLAN AMENDMENTS** for the request of Leah Berlin on behalf of Kwik Trip, Inc. related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H: 1) to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property identified as Tax Parcel Number 91-4-122-081-0010 to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

Recommendation: Village staff recommends approval of **Plan Commission Resolution #15-06** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

- B. Consider the request of Leah Berlin on behalf of Kwik Trip, Inc. for approval of a **Certified Survey Map** to combine two parcels related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H (Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105).

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** as presented in the Village Staff Report of March 23, 2015.

- C. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENT** for the requests of Leah Berlin on behalf of Kwik Trip, Inc. for the proposed Kwik Trip gasoline, convenience store and car wash facility to be located at the southwest corner of 75th Street (STH 50) and 88th Avenue (CTH H) to rezone Tax Parcel Number 91-4-122-081-0010 from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD), Community Commercial District with a Planned Unit Development Overlay District so that both properties being developed for the proposed Kwik Trip will have the same zoning designations. In addition, a Zoning Text Amendment is requested to amend the existing Prairie Ridge Planned Unit Development to include the entire Kwik Trip property within the PUD (Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105).

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented in the Village Staff Report of March 23, 2015.

- D. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATION PLANS AND DIGITAL SECURITY IMAGING SYSTEM AGREEMENT AND ACCESS EASEMENT** for the request of Leah Berlin on behalf of Kwik Trip, Inc. related to the proposed development of a Kwik Trip to be located at the southwest corner of STH 50 and CTH H for the proposed development of a 10,150 square foot Kwik Trip gasoline and convenience store with an attached carwash facility on Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conditional Use Permit including Site and Operational Plans and the Digital Security Imaging System Agreement and Access Easement** subject to the comments and conditions of the Village Staff Report of March 23, 2015.

The petitioner is requesting approval of amendments to the Village 2035 Comprehensive Plan, a Certified Survey Map, a Zoning Map Amendment and Text Amendment and a Conditional Use Permit including Site and Operational Plans and the Digital Security Imaging System Agreement and Access Easement for the development of a Kwik Trip at the southwest corner of STH 50 and CTH H on Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105 with the Prairie Ridge development.

As a part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's requests as presented and described below:

Findings:

1. The petitioner is requesting approval to develop a 2.9 acre site for 10,150 square foot Kwik Trip gasoline dispenser (26 pumps) and convenience store with an attached car wash facility at the southwest corner of STH 50 and CTH H. Prior to the approval of the Conditional Use Permit including Site and Operational Plans for this development, the Village also requires that the development shall be consistent with the Village's Comprehensive Plan.
2. **2035 Comprehensive Plan Amendments (Exhibit A-PC Resolution #15-06):** On December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan*. The 2035 Comprehensive Land Use Plan Map 9.9 sets forth the generalized land use designations of the Village and shall be consistent with other components of the Comprehensive Plan and shall also be consistent with the Village Zoning Map. The following amendments to the Comprehensive Plan are being proposed:
 - a. to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property identified as Tax Parcel Number 91-4-122-081-0010 to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and
 - b. to update Appendix 10-3 of the Village 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.
3. **A Zoning Map Amendment (Exhibit B)** to rezone the northern property (Tax Parcel Number 91-4-122-081-0010) from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD), Community Commercial District with a Planned Unit Development Overlay District is proposed so that both properties being developed for the proposed Kwik Trip will have the same zoning designations and the zoning will be consistent with the 2035 Land Use Plan.
4. **Zoning Text Amendment (Exhibit B is the application and Exhibit C is the proposed PUD Amendment):** On May 15, 2000 the Village Board adopted Ord. #00-43 to create the Prairie Ridge PUD and which has been amended by Ord. #07-28, Ord. #14-20 and Ord. # 14-22). This PUD is the general PUD over the Prairie Ridge Commercial area and allows for the "Nonresidential development identification signs" to be located within dedicated entry monument easements and to include the names of commercial businesses within Prairie Ridge commercial development area. This PUD also provides for specific sign requirements for Prairie Ridge Market Place located at 9000, 9020 and 9080 76th Street.

The PUD amendment (**Exhibit C**) is proposed to include the parcel outside of the Prairie Ridge Subdivision Plat at the southwest corner of STH 50 and CTH H (Tax Parcel Number 91-4-122-081-0010), which is proposed to be combined with the adjacent parcel to the south known as Outlot 18 of the Prairie Ridge Subdivision and further identified as Tax Parcel Number 91-4-122-081-0105.

In addition, the PUD will allow for this triple frontage lot development to have two (2) primary monument signs subject to the following conditions as specified in the PUD and as noted below:

- (1) One Primary Monument Sign is required; however two Primary Monument Signs will be allowed. One sign is allowed to be adjacent to STH 50 and the other sign will be at the northwest corner of CTH H and 76th Street.
- (2) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted.
- (3) The following is allowed for the Primary Monument Sign adjacent to STH 50:
 - (a) Maximum area: 90 square feet per face
 - (b) Maximum height: 10 feet
- (4) The following is allowed for the Primary Monument Sign at the northwest corner of CTH H and 76th Street:
 - (a) Maximum area: 60 square feet per face
 - (b) Maximum height: 6 feet
- (5) Minimum setback distance for Primary Monument Signs: 15 feet from any public street or highway right-of-way line.
- (6) Each sign shall include the street address of building including the street number(s) and the name of the street, but such address may be placed on the base of the sign (where the address will not count toward the maximum area of the sign display).
- (7) Landscaping shall extend a minimum of five feet in every direction from the base or other support structure of the sign.
- (8) May be illuminated.
- (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display.
- (10) The base of the sign shall:
 - (a) Have a height that does not exceed the vertical dimension of the sign display.
 - (b) Not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.

5. **Certified Survey Map (*Exhibit D*)**: The CSM proposes to combine both property Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105 for the development of the site. The CSM shows existing easements, dedicates additional easements on the property to be developed with a for 10,150 square foot Kwik Trip gasoline dispenser and convenience store with an attached car wash facility at the southwest corner of STH 50 and CTH H. All of the existing structures, pavement, gravel and driveway on the northernmost property will be removed. Proper razing permits shall be obtained from the Village prior to their removal. The recorded 40 foot shared ingress, egress, cross access and maintenance easement for vehicular and pedestrian traffic, referred to as a Cross Access and Maintenance Easement (***attached***) shall be provided. The Easement must detail ownership and financial responsibilities for maintenance of the driveway including maintaining, repairing and replacing the driveway, signage, and pavement markings, landscaping and snow plowing. The Easement has been provided to the Village for review.

Said Easement shall be finalized, executed and recorded as referenced on the CSM prior to issuance of building permits for the Kwik Trip facility.

6. **Conditional Use Permit including Site and Operational Plans and Digital Security Imaging System (DSIS) Agreement and Access Easement:**

- a. The petitioner is requesting approval to develop a 2.9 acre site (Lot 1 of the proposed CSM) to construct a 10,150 square foot Kwik Trip gasoline dispenser and convenience store with an attached wash facility at the southwest corner of STH 50 and CTH H. The storm water facilities for the development of this site are draining to the existing detention (dry) basin at the southwest corner of CTH H and 76th Street, which was originally designed to accommodate the storm water for this site as part of the Prairie Ridge development. However, since the development of Prairie Ridge, the Wisconsin Department of Natural Resources (DNR) has modified its regulations (2004), and they now require sites to meet water quality standards. This existing detention (dry) basin is proposed to be converted to a retention (wet) basin by deepening it an additional five feet of depth to comply with the DNR water quality requirements. (See **Exhibit E** for a copy of the application, plans and related documents.)
- b. The property is proposed to be rezoned as previously discussed so that both properties will be located in the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District, as previously discussed. The B-2 District allows, with approval of a conditional use permit, a gasoline dispenser with a car wash facility.
- c. The hours of operation, (when the public is allowed to enter or remain on site for business purposes), is proposed from 5:00 a.m. to 12:00 midnight. (This complies with the B-2 District requirements.) These regulations prohibit 24 hour pumps and a 24-hour car wash.
- d. Pursuant to the B-2 District and liquor license requirements, the business is allowed to be open until midnight; however, Class A Beer is only allowed to be sold from 8:00 am to midnight and Class A Intoxicated Liquor is only allowed to be sold from 8:00 am to 9:00 p.m.
- e. The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies. Contact the Village Clerk Jane Romanowski for Village liquor or tobacco license applications and to discuss the process to obtain said licenses. Contact the Kenosha County Health Department regarding food related licenses.
- f. Pursuant to the B-2 District requirements, deliveries and shipments or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 6:00 a.m. to 10:00 p.m. **The staff would support as a condition in the Conditional Use Permit to allow deliveries to begin at 4:00 a.m. The hours recommended by staff for deliveries would be 4:00 a.m. to 10:00 p.m.**
- g. As a condition of this Conditional Use Permit, Kwik Trip site shall be equipped with fully functioning and operational security cameras outside of the building covering each entrance and exit, all public areas including the dispenser area, the parking lots and the driveway entrance to the site with a Digital Security Imaging System (DSIS) in accordance with the requirements of Chapter 410 of the Village Municipal Code. The DSIS Agreement will require the following:

- i. The IR security cameras shall be inaccessible to employees. Conspicuous signs shall be posted at the entrance stating that security cameras with an inaccessible recording device is in place on the premises. Said system shall be maintained in working order at all times and the Village of Pleasant Prairie Police Department shall be promptly provided any requested recorded video. The recording shall be kept in an archive for a minimum of two (2) weeks and the Pleasant Prairie Police Department shall have remote web access to the system to monitor and download video. (See **attached** Draft DSIS Agreement and Draft DSIS Access Easement for complete conditions-**Exhibit F**).
- ii. The parking lot, driveway entrances, gas pump area, building entrances and driveway access shall be illuminated in such a manner to provide sufficient lighting for the public's safety and for the DSIS security cameras to operate effectively per the Village's satisfaction.
- iii. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from the internal on-site circulation access roadway/driveways. Note that no more than 30% of the total window area shall be blocked by signage. Products, displays and equipment shall not block viewing to the cash register check out area.
- iv. The building shall be equipped with and shall use an inaccessible drop safe.
- v. Between 10:00-12:00 p.m. and 5:00-7:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as the installation of bullet resistant glass or other equipment as approved by the Police Department, making the lone employee inaccessible.
- vi. Installation and full operation of a hold-up alarm, which is monitored by a UL listed central station with functioning telephone service, shall be used at the station/store.
- vii. The cash register shall not be left unattended when the convenience store is open to the public.
- viii. A height strip shall be located at each doorway entering and exiting the convenience store.
- h. Pursuant to the application 25 employees (20 part time and 5 full time employees) are proposed to be employed at this facility. The number of employees on the largest shift shall be provided to ensure that adequate on-site parking is being provided.
- i. Gasoline station with a convenience store requires a minimum of five (5) spaces per each 2,000 square feet of gross floor area (30 spaces) plus 1 space for each employee on the largest shift (___ spaces) plus the required handicapped accessible parking spaces pursuant to the State code.
- j. The plan indicates 39 parking spaces including two (2) handicapped accessible parking spaces adjacent to the main entrance. The parking on-site provide may provide a few less parking spaces than required; however, the 39 parking spaces does not include the spaces at the pumps which can accommodate an additional 26 cars; therefore the Village staff recommends that the parking as shown is acceptable.
- k. The plans show two (2) exterior ice storage bins to be located along the west side of the building. Section 420-119 K.(4) of the Zoning Ordinance limits outside storage of these items to: (a) A maximum of one, eight-foot-by-six-foot-by-three-

foot [(L x H x D) maximum size] outdoor ice storage bin per parcel, and (b) A maximum of one, eight-foot-by-six-foot-by-four-foot [(L x H x D) maximum size] outdoor liquid propane (LP) storage cage shall be allowed per parcel. **The Village staff would support as a condition of the conditional use permit that two (2) ice storage bins be allowed outside provided that each one does not exceed the maximum size noted above for ice storage bins. The plans also show one (1) LP storage cage in the front of the store which is allowed per the above size requirements. However, the outside video machine shall be placed inside the building as noted on the plan set (not outside). No other items/equipment/merchandise shall be stored or be placed outside.**

7. The exterior of the building shall utilize asphalt shingled roofing materials on the main building and the gasoline canopy and brick, cultured stone and other materials as shown on the site and operational plans. (A sample board with actual building materials and colors of paint shall be provided for Village review and approval).
8. The property owner and all of the abutting and adjacent property owners within 300 feet were notified via U.S. Mail on February 21, 2015 and notices were published in the Kenosha News on February 21, 2015 regarding the public hearing for the Comprehensive Plan Amendments.
9. The property owner and all of the abutting and adjacent property owners within 300 feet were notified via U.S. Mail on March 5, 2015 and notices were published in the Kenosha News on March 9 and March 16, 2015 related the other public hearings including the conditional use permit, zoning map and zoning text amendments.
10. The petitioner received a copy of this Village staff report via e-mail on March 20, 2015.
11. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit. In addition, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and will comply with all other requirements of applicable federal, state or local statutes, regulations, ordinances or other laws relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

RECOMMENDATIONS

Item A: Recommendation: Village staff recommends approval of **Plan Commission Resolution #15-06** to approve amendments to the Comprehensive Plan as outlined in said Resolution.

Item B: Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Certified Survey Map subject to the following conditions:

1. The ***attached*** changes to be made to the CSM. (***Exhibit D-1***)
2. The draft Cross Access Easement shall be modified and submitted for Village review. The Easement shall be clarified to address financial responsibilities and obligations for maintenance of the public access driveway including the repairing, replacing of the driveway pavement/curb and gutter, storm sewer, signage, lighting, and pavement markings, landscaping and snow plowing. The Easement shall be finalized, executed and recorded as referenced on the CSM and a copy provided to the Village prior to issuance of permits for the Kwik Trip facility.

3. Any outstanding taxes or special assessments shall be paid prior to recording the CSM. According to the Village Finance Department, the following applies:
 - ✓ 2014 remaining property taxes - payable by 4/30/2015 (first installments were paid on 1/23/2015):
 - i. 91-4-122-081-0010 (\$3,846.09).
 - ii. 91-4-122-081-0105 (\$6,058.86).
 - ✓ STH 50 Transportation Special Assessment - Parcel 91-4-122-081-0105 has a STH 50 Transportation Special Assessment in the amount of \$151,588.80 that is due at the time of sale, transfer or development of the parcel.
 - ✓ Impact Fee - \$1.94/per \$1,000 of assessed value payable at the time building permits issuance.
 - ✓ Sewer Connection Fee--\$1,600/per residential unit equivalent, which is based on the water meter size so it would be invoiced at the time the water meter is requested.
4. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.

Item C: Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Zoning Text Amendment** as presented.

Item D: Village Staff Conclusions and Recommendation:

The Village staff has determined that based upon the foregoing information presented in the application and at the public hearing that the project (Kwik Trip development on Lot 1 of the proposed CSM) meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with either the B-2, Community Business District or the adjoining Districts; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for the

granting of the Conditional Use Permit including Site and Operational Plans and the DSIS Agreement and Easements as specified above for the Kwik Trip development; then the approval is subject to compliance with the above comments and the following conditions

1. Prior to issuance of permits, approval of the Comprehensive Plan Amendment, CSM and Zoning Map and Text Amendment are required. (Requests to be considered by the Village Board on April 6, 2015).
2. Prior to issuance of permits the CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office. (Request to be considered by the Village Board on April 6, 2015).
3. Submit a razing permit and application from the Village Building Inspection Department for the removal of all structures, utility abandonments, driveway removal and restoration, and restoration of the northern portion of the site. A Kenosha County work in the right-of-way permit shall be obtained to use the existing driveway for the razing and site restoration activities – Contact Gary Sipsma at Kenosha County 262-857-1870.
4. The Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans shall be submitted for final staff review and approval. To expedite the review process, return this Village Staff Memorandum with notations in the margin for each comment (different color) which explains where the comment has been addressed on the Plan sheet or that you will comply with the statement.**
 - a. **The following comments relate to the Onsite Civil Engineering Infrastructure Plans:**
 - ii. Label the adjacent parcels with tax parcel numbers and owner’s name on all sheets.
 - iii. On the *Site Layout and Pavement ID Plan (Sheet SP1.0)* revise Paving Note #2 to utilize the current edition of the State Highway Specifications.
 - iv. On the *Site Demo Plan (Sheet SP2.0)* the following changes are required:
 - (a.) Add a General Note stating WDOT permits are required for work within the right of way of STH 50 and Kenosha County permits are required for work within the right of way of CTH H.
 - (b.) Revise General Note #4 from “City” to “Village”.
 - (c.) Install a tracking pad at the construction access location. (Kenosha County must approve the existing residential driveway as the “commercial construction access” as noted on Sheet 3).
 - (d.) Install a bulkhead at the manhole where the 24” storm sewer will be removed adjacent to 76th Street.
 - v. On the *Grading and Erosion Control Plan (Sheet SP3.0)* the following changes are required:
 - (a.) Install silt fence along the south project limits adjacent to 76th Street.
 - (b.) Revise Grading Note #14 to include Kenosha County and WDOT for the state and county highways.

- (c.) Annotate typical slopes.
 - (d.) What is the horizontal line located 20' north of BM #2?
- vi. On the *Grading and Erosion Control Plan – Offsite Improvements (Sheet SP3.1)* the following changes are required:
- (a.) The proposed storm water pond must be revised to meet WDNR Technical Standard 1001 for wet detention ponds. The pond shall be 5' deep which allows for 2' sediment storage and shall contain a safety shelf.
 - (b.) Over-excavate the pond used for sediment control during construction or add a note to remove sediment to design grade near project completion.
 - (c.) Site access shall be from 88th Avenue adjacent to Prairie Ridge Blvd. Delete General Note #5. Show a tracking pad at the site access location.
 - (d.) Prairie Ridge Commercial Owners Association will need to approve the date specific detailed plans and CSM in writing. Provide a copy of the approval letter to the Village.
- vii. On the *Utility Plan – Storm Sewer (Sheet SP4.0)* the following shall be changed:
- (a.) Provide the model of catch basin casting to be installed on the existing catch basin located within the north entrance.
 - (b.) Change the contact information for Utility Note #15 to the Village Public Works Department, 262-925-6700.
- viii. On the *Utility Plan – Sanitary Sewer and Water Services (Sheet SP4.1)* the following shall be changed:
- (a.) Copy over applicable notes for sewer and water construction located on sheet SP4.0.
 - (b.) Provide elevations at all water service changes in grade, bends and tees.
 - (c.) Connection of the water service and sanitary sewer lateral will likely require removing and reinstalling sidewalk. Please add notes and a detail for public sidewalk.
- ix. On the *Notes and Details (Sheet SP5.0)* add a typical section for public sidewalk.
- x. On the *Notes and Details (Sheet SP5.1)* the following shall be changed:
- (a.) Two storm manhole details are shown in the details but no storm manholes are located on the plans.
 - (b.) Specify tie bar size and length tying the new curb and gutter to the existing in the Driveway Entrance detail. Remove all tie bars connecting to the adjacent pavement.
 - (c.) No underdrains are shown on the plans so the Catch Basin Underdrain Detail is unnecessary.
 - (d.) The max slope in the ADA Accessible Ramp (Asphalt Mound) detail needs to be revised. It is not likely possible to install the ramp at a 2.0% max slope. 6-inches of rise over 20-feet results in a slope of

- 2.5%. Should the max slope be 5%? Where on the plans is this ramp located?
- (e.) Show the locations of the proposed "stop" and "do not enter" signs on the plans.
 - (f.) Add the Village standard detail for the sanitary sewer sampling manhole.
 - (g.) Add a detail for catch basins.
- b. The retrofitted pond is not modeled correctly and the pond shown on the plans does not meet the applicable WDNR technical standard as shown on in the **Storm Water Management Plan**. The pond should be redesigned to meet the WDNR standards and the calculations updated accordingly. If it is not possible to meet the 40% TSS reduction by use of the wet pond alone we recommended that alternate devices be considered such as grass swales and over-sized catch basins.
- c. The estimate of the amount of import or export of fill needed for the site grading shall be provided.
- d. Provide calculations to the Village for review of the storm sewer sizing.
- e. See ***attached*** memo dated March 11, 2015 from the Village Public Works Department. The attached comments shall be address in the revised plans.
- f. Modify Plan Sheet 1:
- i. Change out the elevation shown to reflect the corrected Prairie Ridge store elevation (see changes).
 - ii. Correct the mailing address for Craig Roepke – Phone: 262-694-8027 Address: 8044 88th Avenue.
 - iii. Note the store address –8900 76th Street, Pleasant Prairie, WI 53158.
 - iv. Modify General Notes 8. The use, operations, site, buildings and structures shall **NOT** be conducted in such a way as to constitute a public or private nuisance.
 - v. Label the two monument signs as a Primary Monument Signs – max height same as the other individual commercial uses in Prairie Ridge along STH 50 – 10 feet maximum (Pursuant to the PUD amendment). The second Primary Monument Sign is allowed to be a maximum height of 6 feet maximum (Pursuant to the PUD Amendment).
- g. Move details for Lot 1 of CSM, 125,261 square feet, 2.8756 acres and put in the legend –it's difficult to read.
- h. On all plan sheets, show a cross-hatch which denotes no direct access from 75th Street and 76th Street to the property.
- i. The downspouts shall be interconnected with the underground storm sewer system not discharging to grade or a splash block near the car wash as shown on the elevations sheet.
- j. Modify Plan Sheet 3:
- i. All overhead electrical lines shall be buried.
 - ii. Note "No direct access from property to 76th Street per the Village of Pleasant Prairie."
 - iii. The existing driveway to the houses/garages on the north side of property may be only used during the razing process and not as a full Construction

Access. The use of this driveway as a construction access is **only** permitted if express written approval is granted by Kenosha County (Gary Sipsma). Apply for Kenosha County driveway permit -this driveway access shall be used, removed and the land restored only per the permit issued by Kenosha County.

- iv. All pavement, stone, gravel, buildings, utilities and CTH driveway from the northern parcel. The northern area shall only be for greenspace, plantings and a monument sign.
- k. Modify Plan Sheet 4:
 - i. Note: Orange construction fencing shall be placed around the canopy of the existing trees proposed to be saved.
 - ii. Note: The perimeter of the property shall be fenced with minimum 6 foot high cyclone fencing prior to the razing and all construction activities. A fence permit is required for the installation of this fence.
 - iii. Grading Note 3. The Village Engineer must approve the adjustment of final grades.
 - iv. General Note 5. There is a typo on line 3 – it should likely read “on-site soils”.
 - v. The second Primary Monument Sign at the southeast corner shall not be placed on a berm. The maximum height of the sign is proposed at 6 feet from the actual 713’ grade not the elevated 715’ grade.
- l. Modify Plan Sheet 5:
 - i. A temporary construction access (work in the right-of-way permit) shall be obtained from the Village (for Prairie Ridge Boulevard) or from Kenosha County (for CTH H) prior to or at the same time as obtaining the building permit.
 - ii. Specific written approval/ a right of entry shall be obtained from the Prairie Ridge Commercial Owners Association prior to commencing grading in off-site Outlot. Also, relocated wording under new grade topos in Outlot so that wording is legible.
 - iii. What is meant by comment 3- consult ecological planning agency for appropriate plants?
- m. Modify Plan Sheet 6:
 - i. The elevation of the Secondary Monument Sign shall be 713’ not 715’.
 - ii. Utility Note 15 - contact John Steinbrink, Jr. with the Public Works Department, phone number: 262-925-6768.
- n. Modify Plan Sheet 8, show the location of any construction trailer, shown cyclone construction fencing detail for around the perimeter of the property. Note the orange construction fencing around the canopy of all trees (including street trees) being protected during construction.
- o. Modify Plan Sheet 10:
 - i. The second primary monument sign cannot be placed on a berm--must be at grade 713’ elevation.
 - ii. All street trees along 76th Street shall be pruned and reshaped. (The ash trees shall be removed and other trees replanted that are at least 6 feet in height).

- iii. Add building foundation plantings along the entire north side of the car wash.
- iv. Do the berm and plantings along 76th Street shield the head lights from the pump locations? If not, plant taller more dense plantings shall be installed.
- v. Provide a detail of the shape, material, height of the planters in front of the store and what plants will be placed in them.
- vi. There is an existing Landscape Easement on the north side of the site- is this being planted or vacated? See landscape comments for a small berm and additional planting in the northeast corner of the site.
- vii. Add low ground cover plantings in the first island area north of the first driveway and the island at the entrance adjacent to the pine tree (this is the entrance to the site-needs something more).
- viii. On Sheet 10 and other sheets, label the new sidewalk leading from 76th Street to the site.
- ix. Add a small berm or plantings along the northeast corner (since the street trees are not being planted).
- p. Sample materials/colors shall be provided prior to Plan Commission meeting for the staff review. (Cultured stone, brick, paint samples).
- q. Modify A200B Elevations Sheet:
 - i. The car wash doors shall be the same color as the other maroon color doors.
 - ii. The green color of the coping on the garbage dumpster enclosure shall be KWIK TRIP red not green.
 - iii. The electrical panel box shall be painted tan or maroon not let grey as shown.
 - iv. Where are the HVAC and other vents – they need to be screened. Where is the transformer? It should blend in and be painted black or tan to match not grey or green.
 - v. The bollards shall all be noted to be black on the site plan, except for handicapped accessible parking bollards which can be blue.
 - vi. Install attractive address numerals above the door not white, vinyl cling on letters on the glass.
 - vii. Provide a detailed square footage breakdown of all signage on the site, including the freestanding signage and the signage on the building, pumps and canopy in a table. The maximum square footage of signage (excluding the primary monument sign, secondary monument sign and on-site informational signs) allowed is based on the size of the building. The building is 10,150 square feet therefore 200 square feet is allowed.
- r. Modify Plan Sheet 19: the freestanding directional signage maximum height is 4 feet from grade.
- s. Modify Plan Sheet 20:
 - i. The maximum height of a primary monument sign adjacent to STH 50 shall be consistent with all other single users on STH 50 in Prairie Ridge which is a maximum of 10 feet – reduce sign height with a maximum area of 90 square feet. The maximum height for the second primary monument sign is 6 feet with a maximum area of 60 square feet (See PUD Amendment).

- ii. The full address shall be shown on the primary monument sign 8900 76th Street. The numerals shall be 3 inches minimum and 18" minimum from grade.
 - iii. Note the brick used on the signage shall be identical to the building brick.
 - t. Modify Plan Sheet 22:
 - i. The light poles in the lot shall be black to match the site colors not white.
 - ii. The building or canopy lighting details and locations shall be provided for review. The lighting detail shall be the same illumination and design as the parking lot lighting.
5. Provide additional details in the operational plan – anticipated construction start and finish dates and other details not answered in the initial submittal.
 6. Complete and submit the required Industrial Waster Survey to the Village and the Kenosha Water Utility.
 7. Compliance with the **attached** conditions of the memorandum dated February 28, 2015 from the Village Fire & Rescue Department. **Pursuant to condition #2 a letter shall be submitted to the Fire & Rescue Department prior to obtaining building permits stating that the project will comply with all requirements of this memo. A copy of this letter shall also be provided to the Community Development Department.**
 8. Compliance with the following building inspection comments is required:
 - a. The Building plans are based upon compliance with SPS 360-366, IBC 2009 Commercial Building Code of the State of Wisconsin.
 - b. All walls that are designated as smoke or fire walls shall be labeled as such above the ceiling line for inspection.
 - c. Lighting requirements – per State code.
 - d. All fire sprinklers are required for review, approval and permit from the Fire & Rescue Department. In addition, the selection and location of the fire extinguisher(s) and/or fire alarms requires Fire & Rescue approval. Contact the Pleasant Prairie Fire & Rescue Department at (262) 694-8027.
 - e. Submit an egress plan with exit signs and EM lighting throughout the path of egress.
 - f. This parcel and building must comply with all requirements of ANSI 117.1 2003 for BARRIER-FREE DESIGN.
 - g. Permits are required for HVAC, Plumbing and Electrical (high and low voltage (i.e. data, phone, music)) prior to any work commencing. The electrical contractor (high voltage) must be licensed by the State to apply for the electrical permit.
 - h. The architect(s)/ professional engineer(s) shall submit, to the Village Inspection Department and State, the compliance statement, Form SBD 9720, and a Test & Balance Report to Village Building Inspection and Fire & Rescue Department's final inspection.
 - i. A copy of the approved plans and letters must be on site to complete the final inspection for occupancy. Occupancy will not be permitted in absence of these items.
 - j. SPS361.31(4) requires that any deviation from the approved plans must be reviewed and approved prior to installation or construction. A copy of approved plans, specifications, and this letter shall be on site during construction and open to

inspection by authorized representatives of the Department of Safety and Professional Services and Village inspectors.

k. Additional comments may be forthcoming.

9. A Digital Security Imaging System (DSIS) is required to be installed and operational to the Village's satisfaction pursuant to Chapter 410 of the Village Municipal Code for this development. The DSIS Agreement and Access Easement shall be executed prior to issuance of permits. **Attached** is the draft of the Agreement and Access Easement (See **Exhibit F**). The following additional information shall be submitted/agreed to for this DSIS Agreement and Access Easement to be finalized:

a. Provide the DSIS camera system plan and details for this site-required as a part of the Site and Operational Plan approval process.

b. A DSIS Agreement and DSIS Access Easement shall be executed prior to the issuance of the building permits for the new facility. DSIS shall be inspected and fully operational prior to verbal or temporary occupancy.

c. The owner is responsible for paying the required recording fees for the Access Easement to be recorded at the Kenosha County Register of Deeds Office.

10. Upon approval of the Site and Operational Plans and Conditional Use Permit, the Village staff will prepare a Conditional Use Grant Document that shall be executed by the Owner, recording and filing fees shall be paid to the Village for the Village to record said document at the Kenosha County Register of Deeds Office. This document shall be signed and returned to the Village prior to the issuance of any Village building permits for the project. This document shall be executed by the Owners of Lot 1 of the proposed CSM. **The name and title of the authorized person(s) who will execute the Conditional Use Permit if it is different from the name on file with the Village shall be provided so this document can be prepared.**

11. **Upon approval of the revised Site and Operational Plans, and *prior to* the issuance of the required building, zoning and erosion control permits the following shall be submitted:**

a. The CSM shall be recorded and a recorded copy shall be provided to the Village.

b. The Cross Access Easement shall be finalized, executed and a recorded copy shall be provided to the Village.

c. The Conditional Use Document shall be executed by the property owner and recorded.

d. The DSIS Agreement and Easement shall be finalized and executed. The Access Easement shall be recorded at the Kenosha County Register of Deeds Office.

e. A pdf of the Final Site and Operational Plans. The Engineering Department will require an electronic pdf of all approved civil engineering and storm water plans.

f. The Commercial Building Permit applications (building, HVAC, plumbing, electrical etc.) and required State approved plans.

g. A Village Work in the Right-of-way Permit for all work proposed within 76th Street.

h. An Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and

mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]

- i. A copy of the WDOT permit for any work within the STH 50 right-of-way.
 - j. A copy of the Kenosha County permit for use of the residential driveway as a commercial construction access and work within the CTH H right-of-way.
 - k. A copy of the Kenosha County Work in the right-of-way permit for any access from CTH H to the storm water detention basin for grading work.
 - l. A copy of the written approval of the Final Site and Operational Plans and specifically for the CSM from the Prairie Ridge Commercial Owners Association including a copy of any variances from the Association. Provide a right-of-entry and approval to conduct grading and restoration in the Association owned Outlot for storm water detention/retention purposes.
 - m. A copy of the written approval shall be provided from the utility easement holder(s) for proposed grading, utility, and/or other work within easement limits.
 - n. A copy of the City of Kenosha Airport Height Overlay Permit approval prior to commencing work. Contact Brian Willke at the City of Kenosha at 262-653-4030.
 - o. A copy of a written Kwik Trip (on letterhead) compliance letter addressed to the Village Fire & Rescue Department which indicates that Kwik Trip will comply with all conditions set forth in their Memorandum.
2. Impact fees shall be paid prior to issuance of the building permit. (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department's Marshall & Swift analysis).
 3. All fire sprinkler plans and all fire alarm installation plans are required to be submitted to, and reviewed by the Village Fire & Rescue Department and their Fire Safety Consultant (Separate review times and fees will apply). Contact Chief Doug McElmury directly with any questions at 262-694-8027.
 4. **Prior to work commencing on the site, all required State and Village permits shall be issued. All required erosion control measures, shall be in place on the site prior to construction start.** Also, as noted on the plans, a Pre-construction meeting shall be coordinated through the Community Development Department (contact Jean Werbie-Harris) prior to the issuance of building permits and the start of construction. **The preconstruction meeting shall be moderated and minutes shall be taken by the Design Engineer of record. Minutes shall be distributed within 7 days. A sample agenda can be provided by the Village CD Department.**
 5. After the installation of the footing and foundations and prior to setting the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village Building Inspection Department to verify that the building meets all of the required setbacks.
 6. Any damage and subsequent required repairs/replacement to the existing 76th Street sidewalk, the existing retaining wall and/or the existing 76th Street public street trees will be the responsibility of the (abutting) property owner.
 7. General Comments and specific conditions to be included in the Conditional Use Permit:
 - a. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.

- a. The hours of operation, (when the public is allowed to enter or remain on site for business purposes), is proposed from 5:00 a.m. to 12:00 midnight. These regulations prohibit 24-hour gas pumps and 24-hour car wash.
- b. The hours for deliveries and shipments or any other activities outside the principal building that might cause a disturbance to neighboring areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal, is allowed only from 4:00 a.m. to 10:00 p.m.
- c. Compliance with the Digital Security Imaging System Agreement and Access Easement.
- d. The security cameras shall be inaccessible to employees. Conspicuous signs shall be posted at the entrance stating that security cameras with an inaccessible recording device is in place on the premises. Said system shall be maintained in working order at all times and the Village of Pleasant Prairie Police Department shall be promptly provided any requested recorded video. The recording shall be kept in an archive for a minimum of two (2) weeks and the Pleasant Prairie Police Department shall have remote live-web access to the system to monitor and download video.
- e. The parking lot, gas pumping area, building entrances, driveway access and area between the buildings shall be illuminated in such a manner to provide sufficient lighting for the public's safety and for the security cameras to operate effectively per the Village's satisfaction.
- f. A clear and unobstructed view of the cash registers and transaction areas shall be maintained from the internal on-site circulation driveway and access roadway. Note that no more than 30% of the total window area shall be blocked by signage. Products, displays and equipment shall not block viewing to the cash register check out area.
- g. The building shall be equipped with and shall use an inaccessible drop safe.
- h. Between 10:00-12:00 p.m. and 5:00-7:00 a.m. at least two (2) employees shall be working on-site unless the business has taken measures to protect a lone clerk such as the installation of bullet resistant glass or other equipment as approved by the Police Department, making the lone employee inaccessible.
- i. Installation and full operation of a hold-up alarm, which is monitored by a UL listed central station with functioning telephone service, shall be used at the station/store.
- j. The cash register shall not be left unattended when the convenience store is open to the public.
- k. A height strip shall be located at each doorway entering and exiting the convenience store.
- l. All hard surfaced areas including the parking lot areas, drive lanes, paved areas adjacent to the pumps, sidewalks, etc. shall be clean, neat and free from pot holes or other cracks which present a safety risk to the pedestrians or traveling public. The hard surface areas of the site shall be maintained and free of any debris or potholes which may cause distractions or damages to vehicles. All pavement markings shall be done in yellow or white reflective paint.
- m. There shall be no painting of the brick or cultured stone on the building, canopy/posts or signage.

- n. The facility shall operate in an organized, well-kept, clean, neat and professional manner. The inside of the store shall be maintained, painted, and clean for the public. Damaged or dirty walls, floors, coolers, bathrooms, racking, displays lighting, etc. shall be taken care of or repaired promptly. Mal-functioning gas pumps shall be repaired as soon as possible.
- o. Landscaping on the site shall be installed, watered, weeded, trimmed and maintained in good condition at all times. Litter and debris shall be removed from the landscaping on a daily basis. Damaged, dying or dead plant material shall be removed and new plantings shall be installed on a regular basis. Mulch shall be raked in place on a regular basis and replaced yearly.
- p. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code. The signs shall not be located within any Village Easement but may be allowed within a Utility Easement with written approval from We Energies. A permit is required to be issued prior to installation for most signs including the primary monument sign, on-site directional signs and wall signs.
- q. The following types of signs are prohibited and shall not be installed on a temporary or a permanent basis. For a complete listing of prohibited signs refer to the Article X of Chapter 420 of the Village Municipal Code.
 - i. Any sign with flashing or pulsating lights.
 - ii. Any inflatable sign, including but not limited to tethered balloon signs or other gas-filled figures.
 - iii. Any temporary, A-frame, spring-action metal advertising sign used, for example, to advertise services provided cigarette or gasoline prices or food items for sale.
 - iv. Any spotlights used as visual attention-getters.
 - v. Banner signs affixed to the buildings landscaping or canopy poles, except for 21 days for the grand opening. [Note: A permit is required for a grand opening sign.]
 - vi. Strings of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, landscaping, canopies, bollards, or structures on the property.
 - vii. Advertising signage on, banded to or affixed to the gas pumps, canopy poles, landscaping, utility poles or lights.
 - viii. Advertising signage affixed to or painted on the bollards, picnic tables, lighting, landscaping, building, car wash, picnic areas, canopy, garbage or recycling cans, painted on the pavement.
 - ix. A-frame advertising signs in the parking lot areas or on the sidewalk.
- r. All permitted signs shall be in good working order, properly maintained, and repaired as needed, painted and well-kept.
- s. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- t. Downspouts shall be painted the same color as the adjacent brick to blend in with the building and directly tied underground into the on-site storm sewer system and not be discharged onto existing pavement or grass areas.
- u. No HVAC equipment or vents shall be located on or shall protrude through the roof, except small utility vent pipes which will be painted the same color to match the roof.

- v. There shall be no outside sale or display of items, merchandise or products, except for the two (2) ice dispensers not to exceed eight-foot-by-six-foot-by-three-foot [(L x H x D) per ice storage bin and one (1) LP dispenser not to exceed eight-foot-by-six-foot-by-four-foot [(L x H x D). Any ice or LP dispensers/cabinets shall be maintained (not rusted in appearance) and shall not block any windows or doorways. No other items/equipment/merchandise shall be stored or be placed outside.
- w. No merchandise shall be stacked or piled inside the store in front of any windows.
- x. If Kwik Trip provides shopping carts, there shall be no exterior shopping cart storage. All shopping carts shall be stored indoors. If applicable, shopping carts left in the parking lot shall be retrieved on a regular basis throughout the day.
- y. Only typical household cleaners used in the maintenance of the business in order to clean the food preparation and service areas, floors and bathrooms. The only waste that is disposed of at the site is spoiled food and drink products, grey water waste and sanitary waste from the bathrooms.
- z. The owner shall obtain and maintain all permits and licenses required to operate its business. Those permits and licenses allow for the sale of petroleum, alcohol, tobacco, food, and related items sold in its business, issued from the various government agencies. Copies of all applicable licenses shall be obtained from or provided to the Village. All Village, County or State licenses shall be issued and valid as a condition of the Conditional Use Permit.
- aa. The use, operations, site, building and structures shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans, the Conditional Use Permit, Liquor and Tobacco Licenses and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State Building Codes, Fire & Rescue Ordinances and national and federal regulations.
- bb. The use, operations, site, building and structures shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the Performance Standards set out in Section 420-38 of the Village Zoning Ordinance.
- cc. The site, building and garbage dumpster structure shall be maintained in a clean, neat, presentable, aesthetically pleasing, odor-free, structurally sound and nonhazardous condition inside and outside of the store at all times. All litter and debris outside of the structures shall be promptly removed on a daily basis. The garbage dumpster enclosure doors shall not be left open and on garbage day they shall be promptly closed after the pick-up of garbage.
- dd. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
- ee. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes (including pumper pad space) or on landscaped areas.
- ff. The development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/ unlicensed vehicles that are parked overnight will be issued citations.
- gg. No trucks, trailers or cars shall be parked in a manner that would constitute advertising of a business on the properties.
- hh. There shall be no outdoor storage of materials or equipment on this site, unless specifically approved by the Village.

- ii. The use of semi-trailers, storage units, storage bins, compactors, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.
 - jj. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 - kk. No changes to the exterior site or building conditions shall be made without the Village's approval. Minor internal modifications/alterations shall be approved at the discretion of the Village Zoning Administrator; however, any addition, exterior alteration, or major interior alteration shall be subject to the Village's Conditional Use procedures as if such use were being established anew.
8. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
 9. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m. Extended early summer hours - 6:00 a.m. start may be approved on a case by case basis.
 10. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors. No on-street parking shall be allowed on 76th Street, STH 50 or CTH H.
 11. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in any rights-of-way. All construction related signage shall be approved and permitted by the Village.
 12. Prior to occupancy, each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
 13. Prior to occupancy, the DSIS shall be installed, inspected and operational. Note-a low voltage electrical permit is required prior to installation. Both the Village electrical inspector and IT Department will inspect installation of the DSIS.
 14. Prior to occupancy all required signage shall be installed per the approved plans and written verification from the sign installer shall be provided to the Village that the signage has been installed in accordance with the approved signage plan.
 15. Prior to occupancy all required landscaping shall be installed. In addition, a written letter of verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy.
 16. If weather conditions prevent installation of all or portions of the landscape materials, the owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably

compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.

17. Prior to occupancy, three (3) copies of a building and site as-built plan, stamped by a Wisconsin Registered Land Surveyor, shall be submitted to the Village to verify that all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
18. Prior to occupancy, written certification/letter shall be provided from the signage company (ies) that all signage was installed pursuant to the Village approved Site and Operational Plan Signage drawing.
19. Prior to occupancy, an As-built graphical data of all private sanitary sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
20. Prior to occupancy, a record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all water main(s), sanitary sewer(s), and storm sewer(s) shall be prepared by the Engineer of Record for the project.
21. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
22. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.



MEMORADUM

Office of the Public Works Department
Engineering Technician
Steven P. Wlahovich

TO: John Steinbrink Jr., Director of Public Works
FROM: Steve Wlahovich, Engineering Technician
CC: Jesse Houle, P.E., Construction Manager
SUBJECT: Kwik Trip #172 Site and Operational Plans
DATE: March 11, 2015

John,

The Public Works Department has reviewed the submitted information for the above referenced project. The following comments are based on this review.

Cover Sheet

1. Remove: Steve Wlahovich, Engineering Technician, and Add: Jesse Houle, Construction Manager, 8600 Green Bay Road. Phone (262) 948-8945, Fax (262) 694-2941.

Onsite Civil Engineering Infrastructure Plans:

Site Layout and Pavement ID Plan (Sheet SP1.0)

2. Underdrain need behind existing retaining wall to collect water.

Utility Plan – Storm Sewer (Sheet SP4.0)

3. Revise utility note #15, Remove: Engineering Department (262) 948-8951. Add: Steve Wlahovich with The Village of Pleasant Prairie Public Works Department (262) 925-6767.
4. Label Sampling Manhole

Utility Plan – Sanitary Sewer and Water Services

5. All bends in the sanitary service shall be in manholes. Additional manholes will need to be added, revise layout of onsite sanitary.

Notes & Details – (Sheet SP5.1)

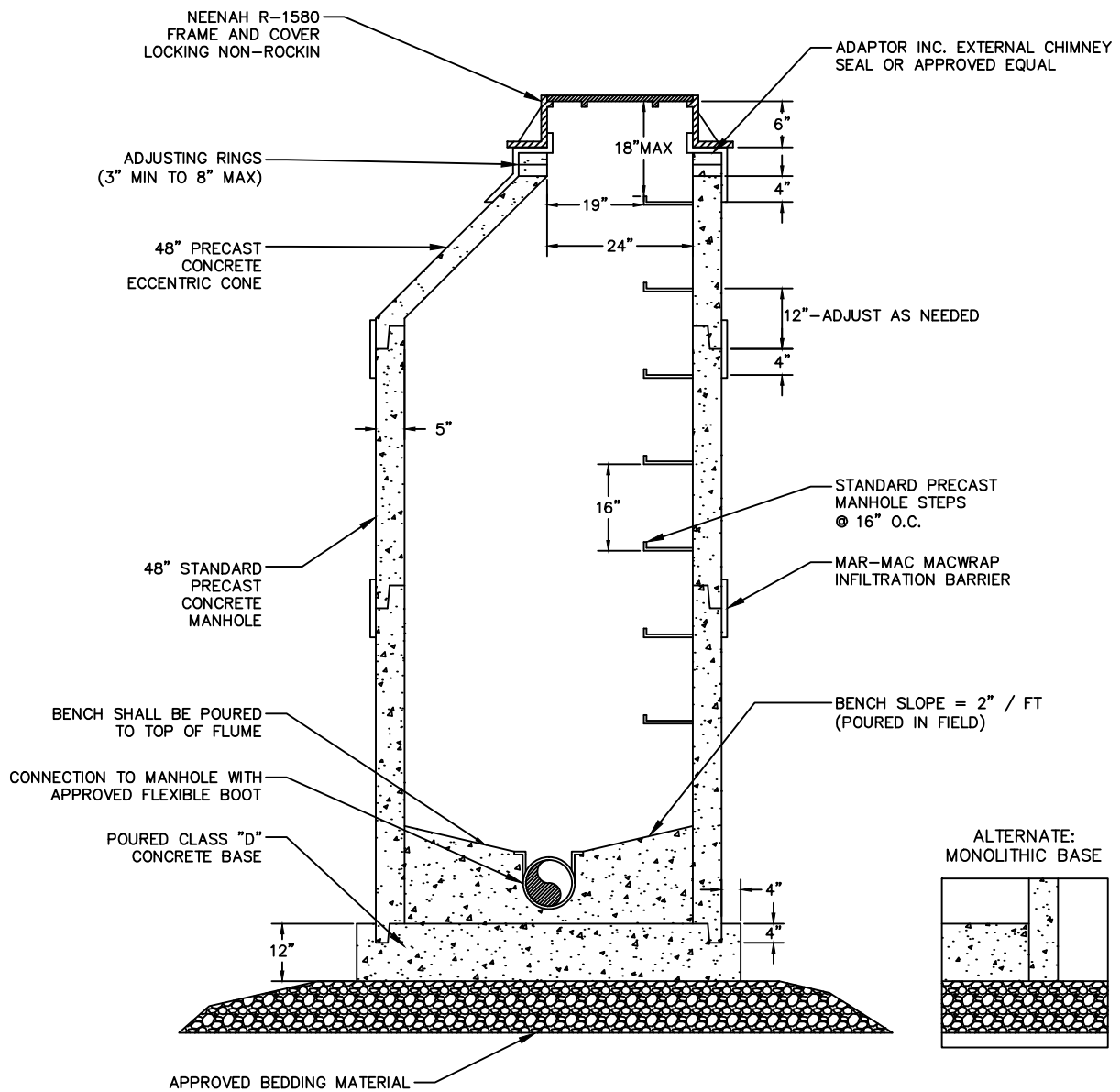
6. Add a Standard Sampling Manhole Detail – Village will provide.

7. Add a Palmer-Bowles Flume Detail – Village will provide.

Landscape Plans

Sheet (L1.0)

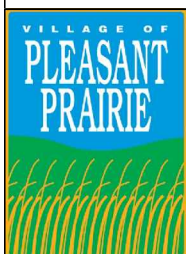
8. Verify the species of two street trees that will remain in 76th Street Right-of-Way as part of this project.



NOTES:

1. STANDARD SAMPLING MANHOLE SHALL HAVE A PALMER-BOWLUS FLUME WITH INTEGRAL APPROACH INSTALLED.
2. VILLAGE OF PLEASANT PRAIRIE DPW SHALL BE CONTACTED FOR FINAL INSPECTION OF SAMPLING MANHOLES.
3. SEE DETAIL SAN-2A AND SAN-2B FOR PALMER-BOWLUS FLUME DETAILS.
4. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY MANHOLES.

SCALE: NTS



Standard Sampling Manhole

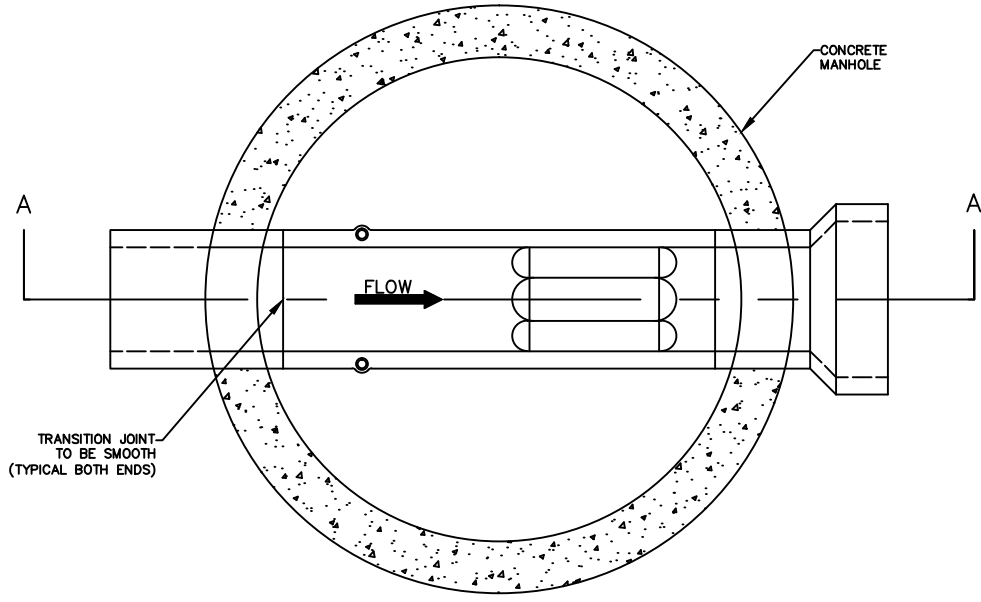
DETAIL: SAN - 2

CREATED: 11-21-12

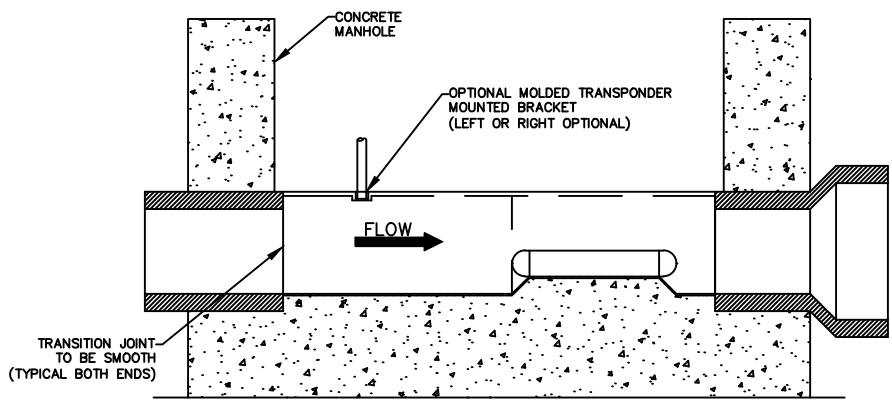
REVISED: 1-29-14

APPROVED BY: MIKE SPENCE





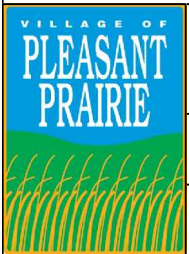
TOP VIEW OF MANHOLE WITH FLUME



SECTION A - A ENLARGED

- NOTE:
1. FLUME SHALL BE SET LEVEL INSIDE THE MANHOLE FOR PROPER TESTING PROCEDURES.
 2. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER.

SCALE: NTS



Palmer-Bowlus Flume Detail (1 of 2)

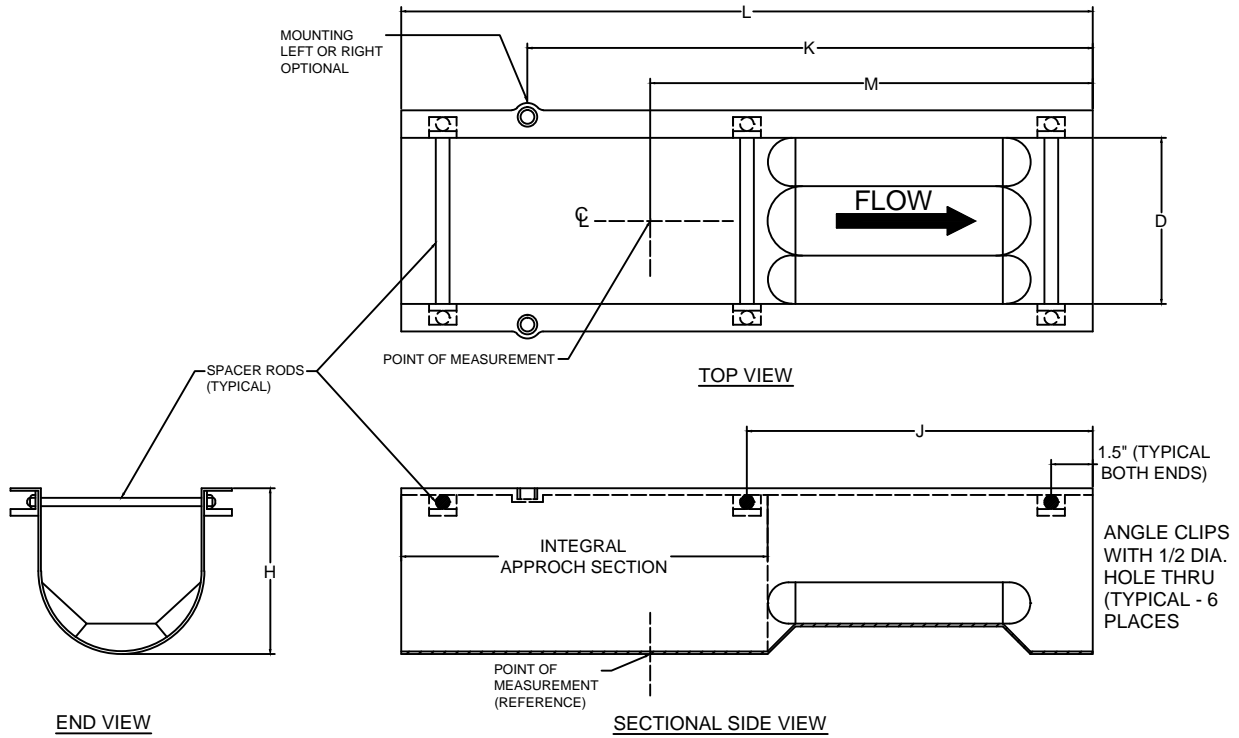
DETAIL: SAN - 2A

CREATED: 11-21-12

REVISED: 1-6-14

APPROVED BY: MIKE SPENCE





DIMENSIONS TABLE

PIPE SIZE	D	H	M	K	J	L
4	4	6	11	15 7/16	6 1/2	17
6	6	8	16	20 7/16	12 1/2	25
8	8	10	21	25 7/16	16 1/2	33
10	10	12	26	30 7/16	20 1/2	41
12	12	14	31	35 7/16	24 1/2	49
15	15	17	38 1/2	42 15/16	30 1/2	61
18	18	20	46	50 7/16	36 1/2	73
21	21	23	53 1/2	57 15/16	42 1/2	85
24	24	26	61	65 7/16	48 1/2	97
27	27	29	68 1/2	72 15/16	54 1/2	109
30	30	32	76	80 7/16	60 1/2	121

NOTES:

1. DIMENSIONS ARE IN INCHES, UNLESS OTHERWISE SPECIFIED.
2. DIMENSIONS PROVIDED FOR REFERENCE ONLY.

SCALE: NTS



Palmer-Bowlus Flume Detail (2 of 2)

DETAIL: SAN - 2B

CREATED: 11-21-12

REVISED: 2-19-14

APPROVED BY: MIKE SPENCE





VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Kwik Trip
DATE: 28 February 2015

This is a review of the Site and Operational Plan for the Kwik Trip convenience store and car wash. The buildings have a proposed square footage of 10,150 S.F., and are located at 76th Street and 88th Avenue.

The facilities are classified under Wisconsin Administrative Code, and the International Building Code, specifically Business Group B.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the plans submitted, we have the following concerns:

- AED. Because of the occupancy of the building the owner shall install one public access Automatic External Defibrillator (AED) onsite for employee or customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire sprinkler riser/fire pump room. Remote annunciator panel location(s) will need to be determined.
- Knox Boxes shall be recessed in the building. Knox boxes shall be provided at the main entrance and at the door nearest the sprinkler riser room.
- All outside doors shall have a lock and handle for access from the outside of the structure.
- Need to install the approved fire department connection, Pumper Pad.
- Incoming combination water main must be sized by a Wisconsin Licensed Fire Sprinkler Designer.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- Fire hydrants: Hydrants shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged. Hydrants must be placed no further than 350 feet apart as measured by normal access routes used by Fire and Rescue Department apparatus.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
- Monument signs must have street address on them.
- All canopies must comply with the adopted International Building Code, including the height requirements.
- Additional fire department comments may be forthcoming.

4. **Fire and Rescue Department Review and Comments:**

A. Site and Operational Permits

1. Site accessibility
2. Pumper Pad
3. Fire hydrant spacing

B. Conditional Use and Operational

- | | |
|--------------------------------|--------------------------------|
| 1. Fire alarm pull stations | Not shown at this time. |
| 2. Emergency and Exit Lighting | Not shown at this time. |
| 4. Fire extinguishers | Not shown at this time. |

5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.

7. **The following information must be submitted with the sprinkler plans for review:**

- Building height:
- Number of stories/floors:
- Mezzanines:
- Clear space:
- Elevators:
- Hazard class:
- Commodity:
- Maximum storage height:
- Square footage, office space:
- Exterior storage:
- Fire protection:

8. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.
Bulk Water

- Water Usage
- Fire Protection Plans for Underground and Aboveground
- Fire Alarm System Plans
- Kitchen Hood Systems Plans
- Occupancy Permit & Re-Inspection fees

Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

9. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
10. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.
11. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All exterior exit pathways as well as access to the Fire Pump Room shall have a hard surface, leading to a hard surface.
 - b. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
12. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
13. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
14. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.

15. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
16. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA-National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
17. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
18. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
19. **Pumper Pad:** Located on the West side. There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting.

20. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

21. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.

22. **Fire Alarm System:** The system shall be fully addressable so that detailed information will be received about the device in alarm. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.

- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- g. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies
- h. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin
Fire: Pleasant Prairie Fire & Rescue
Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

Emergency: (262) 694-1402

Non-emergency: (262) 694-7105

Business: (262) 694-8027

23. **Knox Box:** Knox Boxes shall be provided for the building. One by main entrance door, and one at the door nearest the fire riser room. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
24. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Pump Room.
25. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
26. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire pump room.
27. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. Copies of all underground and above ground tank documents.
 - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - k. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.

- l. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
 - m. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - n. AED, in place at time of occupancy.
 - o. A copy of the Emergency Plan must be submitted to the Fire and Rescue Department before occupancy.
28. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
29. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

1626 Oak St. • P.O. Box 2107 • La Crosse, WI 54602-2107
 Phone 608-781-8988 • Fax 608-781-8960 • www.kwiktrip.com

Kwik Trip, Inc.



February 13, 2015

Ms. Jean Werbie-Harris
 Community Development Director
 Village of Pleasant Prairie
 9915 39th Avenue
 Pleasant Prairie, WI 53158

RE: Kwik Trip at the Southwest Corner of STH 50 & CTH H

Dear Ms. Werbie-Harris:

This letter is intended to accompany our submittal for our application to the Village of Pleasant Prairie for the requested Comprehensive Plan Amendment, Certified Survey Map, Zoning Map and Text Amendment, Site and Operational Plan and Conditional Use Permit for our proposed project at the at the Southwest Corner of STH 50 & CTH H (aka northwest quadrant of 76th St and 88th Avenue). Please accept this letter as our request for a Comprehensive Plan Amendment to remove the Urban Reserve Designation from Tax Parcel Number 91-4-122-081-0010 from the Village Comprehensive Land Use Plan. This parcel currently is used as a small number of rental housing units.

Kwik Trip, Inc. is proposing the construction of a convenience store with car wash and fueling facility at the currently undeveloped site. Included in the submittal are copies (full, 11x17) of the existing conditions plan, site plan, keynote plan, grade and erosion control plan, utility plan, SWPPP, details, landscape plan, photometric plan, convenience store building elevations and fuel canopy elevations. Lastly, the storm water management calculations are also attached.

Operations

The requested hours of operation will be from 5 am to Midnight for all uses. The type of products that will be sold will be similar to that of our existing stores in southeast Wisconsin: fresh produce, bakery and dairy, hot and cold food and beverages, fresh meat and groceries, tobacco products, lotto, convenience store merchandise, alcohol, gasoline, diesel, E-85, ice and propane. The outside merchandising of products is being requested next to the store (two ice chests and one propane cage). To ensure that the freshest products are sold in our stores, we request that daily deliveries be allowed between 4am and Midnight.

Buildings, Architecture and Site Design



Our Mission: "To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life."

Kwik Trip & Kwik Star Stores • Tobacco Outlet Plus • Convenience Transportation, LLC • Hearty Platter Restaurants & Cafés



The site will include a fueling canopy, an integrated convenience store and car wash building, along with customer and employee parking, extensive landscaping, modern storm water facilities, monument and wall signage, concrete paving with curb and gutter, and a state-of-the-art building made with long lasting materials. The architectural elements (asphalt shingles, roof element added on fuel canopy, additional windows along the east and south façade, and stone on building and canopy columns) were custom designed for this location to fit in context with the Village's Prairie Ridge development. This site will be accessed from three internal driveways onto a private, shared access easement on the western edge of the parcels that leads to 76th Street. These driveways will provide an efficient circulation pattern for vehicles into and out of the site, as well as safe movements internally on the parcel. Lastly, the two underlying parcels that exist today will be combined into one lot via certified survey map.

Investment in the Village

This project will be a multi-million dollar investment in the Village of Pleasant Prairie. Not only in the physical improvements and redevelopment of a vacant and somewhat blighted site, but also an investment of approximately 25 to 30 new permanent jobs in the Village. The projected payroll here is estimated to be approximately \$500,000 annually.

Community Partner

We pride ourselves in being an asset in the communities where we are located. Families can walk to or ride their bikes to our stores. Retirees on fixed income can access fresh groceries like milk, eggs, bread and fruit just steps from their car. Importantly, customers with physical challenges welcome and utilize our ADA compliant stores and restrooms. Lastly, we take pride in giving back to the communities we serve with charitable donations and by partnering with local non-profits.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns the Village of Pleasant Prairie may have with our submission. Please feel free to call Troy Mleziva (608 792 7443) or myself with any questions.

Sincerely,

Leah Nicklaus-Berlin
Store Engineering
608 793 6461

Bradford Fry
Store Engineering
608 793 6414



**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #15-06**

**TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board of Trustees adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, the applicant/future owners of the vacant property located at the southwest corner of STH 50 and CTH H (Tax Parcel Number 91-4-122-081-0010) in the Prairie Ridge development are requesting the following amendments to the Village 2035 Land Use Plan Map to ensure that the Zoning Map and the land use plan are consistent:

1. to amend the Village 2035 Land Use Plan Map 9.9 to remove the urban reserve land use designation from the property identified as Tax Parcel Number 91-4-122-081-0010 to ensure that both the Zoning Map and the Comprehensive Land Use Plan are consistent; and
2. to update Appendix 10-3 of the Village 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

WHEREAS, on March 23, 2015 the Village Plan Commission held a public hearing to discuss the proposed amendments.

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the aforementioned amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the March 23, 2015 public hearing.

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact the Ordinance adopting the amendment, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 23rd day of March 2015.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

Thomas W. Terwall
Plan Commission Chairman

Donald Hackbarth
Secretary

Date Posted: _____



Filed 2/23 2015 Published 3/9 2015
 Public Hearing 3/23 2015 3/16 2015
 Fee Paid 2/20 2015 Approved _____ 20____
 Notices Mailed 3/5 2015 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2 with UHO District(s) to B-2 with PUD District(s). The property petitioned to be rezoned is located at: 7510 88th Avenue and is legally described as follows: See attached (address)

Tax Parcel Number(s): 91-4-122-081-0010

The proposed use for this property is: Part of Kwik Trip Convenience Store

Petitioner's interest in the requested rezoning: Kwik Trip

Compatibility with adjacent land uses: Yes

I (We) are also requesting a Zoning Text Amendment to amend Section _____ of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: 502 Pleasant Prairie WI LLC
 Signature: [Signature]
 Address: 1144 W. FULTON STREET
CHICAGO IL 60607
 (City) (State) (Zip)
 Phone: 312-759-5620
 Fax: 312-759-5620
 Email: D6Alowich@masnwet.com
 Date: 2/21/15

OWNER'S AGENT:

KWIK TRIP INC.
 Print Name: LEAH BERLIN
 Signature: [Signature]
 Address: 1426 Oak Street
LaCrosse WI 54603
 (City) (State) (Zip)
 Phone: 608-793-1441
 Fax: 608-781-8900
 Email: lberlin@kwiktrip.com
 Date: 2/20/15

Proposed Rezone to B-2 Community Commercial District with "PUD" Planned Unit Development Overlay District (Current Zoning Proposed Rezone to B-2 Community Commercial District with "UHO" Urban Land Holding Overlay District)

Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, particularly described as commencing at the Northeast corner of Section 8 aforesaid; thence Southerly along the center line of the North and South Road 16 rods; thence Westerly parallel with the Lake Geneva Road, so-called, 10 rods; thence Northerly parallel with the North and South Road, 16 rods and to the center of the Lake Geneva Road, so-called; thence Easterly along the center line of the Lake Geneva Road, 10 rods, to the place of beginning, and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II: Part of the Northeast Quarter of Section 8, Town 1 North in Range 22 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, and being more particularly described as follows: Beginning on the North line of the Northeast quarter of Section 8, Town 1 North in Range 22, at a point which is 165 feet West from the Northeast corner of said quarter section, and running thence West along and upon the North line of said quarter section, 165 feet; thence running South, parallel with the East line of said quarter section, 264 feet; thence running East, parallel with the North line of said quarter section, 165 feet; thence running North 264 feet to the place of beginning, EXCEPTING therefrom the North 33 feet thereof, falling within Highway 50.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.

Legal also described as:

All that part of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast $\frac{1}{4}$ section; thence South $02^{\circ}49'58''$ East and along the East line of the said Northeast $\frac{1}{4}$ section, 264.00 feet to a point; thence South $89^{\circ}46'36''$ West and parallel to the North line of the said Northeast $\frac{1}{4}$ section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. H) and the place of beginning of land hereinafter described; Continuing thence South $89^{\circ}46'36''$ West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast $\frac{1}{4}$ section, 269.94 feet to a point; thence North $02^{\circ}49'58''$ West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast $\frac{1}{4}$ section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. 50); thence North $87^{\circ}24'45''$ East and along the said South Right-of-Way line, 70.97 feet to a point; thence South $74^{\circ}02'18''$ East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. H); thence South $02^{\circ}49'58''$ East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast $\frac{1}{4}$ Section 39.56 feet to the point of beginning of this description.

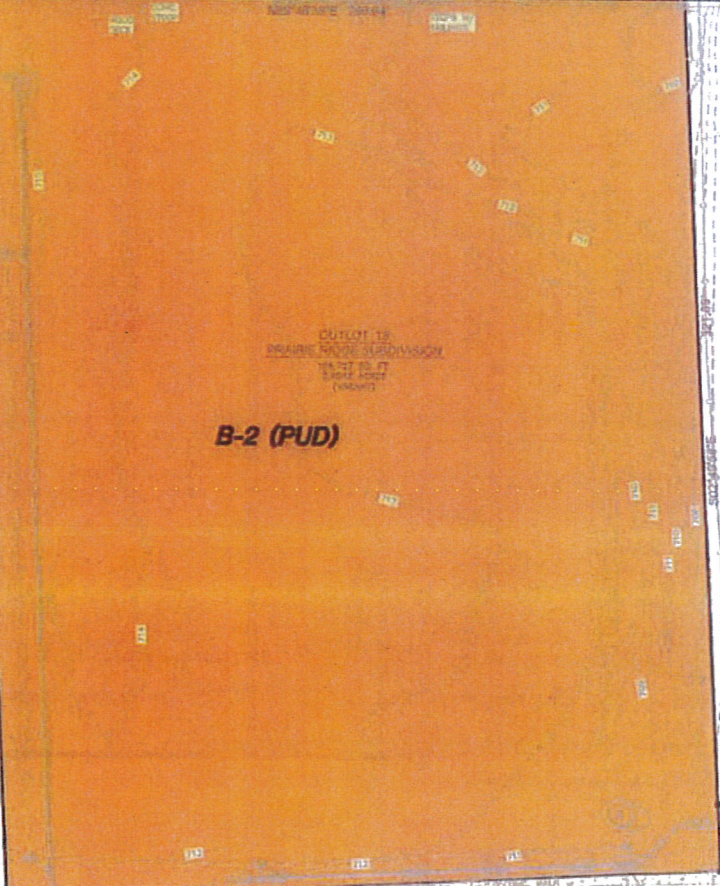
NOTE: Property Address: 7510 88th Avenue
Tax Key No. 91-4-122-081-0010

H. LINE NE 1/4 SEC. 8-1-22 88°47'14" E 00 2840.64' (2)
88°46'38" E 00 2840.77' (2)

NE CORNER
SEC. 8-1-22
CONC. MON.
W/ BRASS CA
N: 213,633.78
E: 2,541,800.34
E.L.: 767.28

75TH STREET (S.T.H. "50")
WIDTH VARIES

OUTLOT 19
DRAINAGE SERVICE CORPORATION
OWNER: SERVICE INDUSTRIES, INC.



88TH AVENUE (C.T.H. "H")
110' W/W

E. LINE NE 1/4 SEC. 8-1-22 88°46'38" E 2840.77' (2)

76TH STREET
60' W/W

502'59"
28.62'

Proposed Rezone to B-2 Community Commercial District with "PUD" Planned Unit Development Overlay District (Current Zoning Proposed Rezone to B-2 Community Commercial District with "UHO" Urban Land Holding Overlay District)

Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, particularly described as commencing at the Northeast corner of Section 8 aforesaid; thence Southerly along the center line of the North and South Road 16 rods; thence Westerly parallel with the Lake Geneva Road, so-called, 10 rods; thence Northerly parallel with the North and South Road, 16 rods and to the center of the Lake Geneva Road, so-called; thence Easterly along the center line of the Lake Geneva Road, 10 rods, to the place of beginning, and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II: Part of the Northeast Quarter of Section 8, Town 1 North in Range 22 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, and being more particularly described as follows: Beginning on the North line of the Northeast quarter of Section 8, Town 1 North in Range 22, at a point which is 165 feet West from the Northeast corner of said quarter section, and running thence West along and upon the North line of said quarter section, 165 feet; thence running South, parallel with the East line of said quarter section, 264 feet; thence running East, parallel with the North line of said quarter section, 165 feet; thence running North 264 feet to the place of beginning, EXCEPTING therefrom the North 33 feet thereof, falling within Highway 50.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.

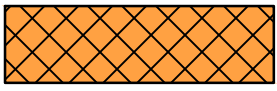
Legal also described as:

All that part of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast $\frac{1}{4}$ section; thence South $02^{\circ}49'58''$ East and along the East line of the said Northeast $\frac{1}{4}$ section, 264.00 feet to a point; thence South $89^{\circ}46'36''$ West and parallel to the North line of the said Northeast $\frac{1}{4}$ section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. H) and the place of beginning of land hereinafter described; Continuing thence South $89^{\circ}46'36''$ West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast $\frac{1}{4}$ section, 269.94 feet to a point; thence North $02^{\circ}49'58''$ West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast $\frac{1}{4}$ section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. 50); thence North $87^{\circ}24'45''$ East and along the said South Right-of-Way line, 70.97 feet to a point; thence South $74^{\circ}02'18''$ East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. H); thence South $02^{\circ}49'58''$ East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast $\frac{1}{4}$ Section 39.56 feet to the point of beginning of this description.

NOTE: Property Address: 7510 88th Avenue
Tax Key No. 91-4-122-081-0010



LEGEND

 **REZONE TO B-2 with PUD FROM B-2 with UHO**

Proposed Rezone to B-2 Community Commercial District with "PUD" Planned Unit Development Overlay District (Current Zoning Proposed Rezone to B-2 Community Commercial District with "UHO" Urban Land Holding Overlay District)

Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, particularly described as commencing at the Northeast corner of Section 8 aforesaid; thence Southerly along the center line of the North and South Road 16 rods; thence Westerly parallel with the Lake Geneva Road, so-called, 10 rods; thence Northerly parallel with the North and South Road, 16 rods and to the center of the Lake Geneva Road, so-called; thence Easterly along the center line of the Lake Geneva Road, 10 rods, to the place of beginning, and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II: Part of the Northeast Quarter of Section 8, Town 1 North in Range 22 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, and being more particularly described as follows: Beginning on the North line of the Northeast quarter of Section 8, Town 1 North in Range 22, at a point which is 165 feet West from the Northeast corner of said quarter section, and running thence West along and upon the North line of said quarter section, 165 feet; thence running South, parallel with the East line of said quarter section, 264 feet; thence running East, parallel with the North line of said quarter section, 165 feet; thence running North 264 feet to the place of beginning, EXCEPTING therefrom the North 33 feet thereof, falling within Highway 50.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.

Legal also described as:

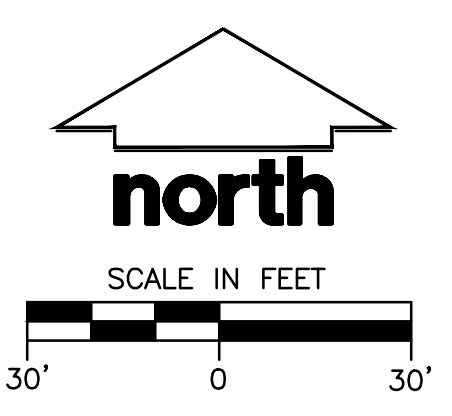
All that part of the Northeast ¼ of the Northeast ¼ of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast ¼ section; thence South 02°49'58" East and along the East line of the said Northeast ¼ section, 264.00 feet to a point; thence South 89°46'36" West and parallel to the North line of the said Northeast ¼ section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. H) and the place of beginning of land hereinafter described; Continuing thence South 89°46'36" West and along the North line of Outlot 18 of "Prairie Ridge" [A Subdivision Plat of Record] and being parallel to the said North line of the said Northeast ¼ section, 269.94 feet to a point; thence North 02°49'58" West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast ¼ section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. 50); thence North 87°24'45" East and along the said South Right-of-Way line, 70.97 feet to a point; thence South 74°02'18" East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. H); thence South 02°49'58" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast ¼ Section 39.56 feet to the point of beginning of this description.

NOTE: Property Address: 7510 88th Avenue
Tax Key No. 91-4-122-081-0010

 **EXISTING B-2 with PUD TO REMAIN**

Outlot 18 in Prairie Ridge, being a subdivision of part of the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northeast Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northeast Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Southwest Quarter; and the Northeast Quarter and the Southwest Quarter of the Southeast Quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian; in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

NOTE: Property Address: 76th Street
Tax Key No. 91-4-122-081-0105



KWIK TRIP STORES

KWIK STAR STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX
MADISON | MILWAUKEE | KENOSHA | APPLETON

REZONE EXHIBIT

CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH

C.T.H. "H" AND 76TH ST. VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY	JSK/RWI
SCALE	1" = 30'
JSD PROJ. NO.	14-6612A
DATE	02-15-2015
SHEET	EX-1

ORD. #15-

**ORDINANCE TO AMEND SECTION 420, ATTACHMENT 3, APPENDIX C 1.
RELATED TO SPECIFIC DEVELOPMENT PLANS, ENTITLED
"1. PRAIRIE RIDGE PLANNED UNIT DEVELOPMENT"
OF THE VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that Section 420, Attachment 3, Appendix C 1. D. ii (2) relating to specific development plans, entitled "1. PRAIRIE RIDGE PLANNED UNIT DEVELOPMENT" of the Village Zoning Ordinance is hereby amended as follows:

1. **To create Section b. xvii. of said PUD to add the following legal description of the property located at the southwest corner of STH 50 and CTH H to be included within the Development as follows:**
 - xvii. **Tax Parcel Number** Tax Parcel Number 91-4-122-081-0010 located at the southwest corner of STH 50 and CTH H.
2. **To create Section d iii of said PUD to add the following specific requirements relate to Primary Monument Sign for the Kwik Trip development.**
 - iii. The building located at 8900 76th Street on Outlot 18 and the property to the north (Tax Parcel Numbers 91-4-122-081-0010 and 91-4-122-081-0105 within the DEVELOPMENT shall specifically allow for the modification of Section 420-76 T of the Village Zoning Ordinance related to Primary Monument Signs to read as follows:
 - T. Primary Monument Sign
 - (1) One Primary Monument Sign is required; however two Primary Monument Signs will be allowed. One sign is allowed to be adjacent to STH 50 and the other sign will be at the northwest corner of CTH H and 76th Street.
 - (2) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted.
 - (3) The following is allowed for the Primary Monument Sign adjacent to STH 50:
 - (a) Maximum area: 90 square feet per face
 - (b) Maximum height: 10 feet
 - (4) The following is allowed for the Primary Monument Sign at the northwest corner of CTH H and 76th Street:
 - (a) Maximum area: 60 square feet per face
 - (b) Maximum height: 6 feet
 - (5) Minimum setback distance for Primary Monument Signs: 15 feet from any public street or highway right-of-way line.
 - (6) Each sign shall include the street address of building including the street number(s) and the name of the street, but such address may be placed on the base of

the sign (where the address will not count toward the maximum area of the sign display).

- (7) Landscaping shall extend a minimum of five feet in every direction from the base or other support structure of the sign.
- (8) May be illuminated.
- (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display.
- (10) The base of the sign shall:
 - (a) Have a height that does not exceed the vertical dimension of the sign display.
 - (b) Not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.

Adopted this ____ day of _____, 2015.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

Effective Date: _____

____-Kwik Trip-PR PUD amend



Filed 2/23 2015
 Fee Paid 2/20 2015
 PC Meeting Date 3/23 2015
 VB Meeting Date 4/6 2015
 Approved _____ 20____
 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
 CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: _____

and is legally described as follows: See attached

Tax Parcel Number(s): 91-4-122-081-0010 and 91-4-122-081-0105

- The property abuts or adjoins a State Trunk Highway Yes No
- The property abuts or adjoins a County Trunk Highway Yes No
- Municipal Sanitary Sewer is available to service said properties Yes No
- Municipal Water is available to service said properties Yes No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SBI Pleasant Prairie LLC
 Signature: [Signature]
 Address: 1194 W. Fulton Market #
Chicago IL 60667
 (City) (State) (Zip)
 Phone: 312-759-5020
 Fax: 312-759-5020
 Date: 2/21/15

OWNER'S AGENT:

KWIK TRIP INC.
 Print Name: LEAH BERLIN
 Signature: [Signature]
 Address: 1426 Oak Street
Lafayette WI 54603
 (City) (State) (Zip)
 Phone: 608-793-6461
 Fax: 608-781-8960
 Date: 2/20/15

LEGAL DESCRIPTION:

(Per Landmark Title Corporation, Title Commitment No. LT-136200, effective date October 20, 2014)

PARCEL I:

Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, particularly described as commencing at the Northeast corner of Section 8 aforesaid; thence Southerly along the center line of the North and South Road 16 rods; thence Westerly parallel with the Lake Geneva Road, so-called, 10 rods; thence Northerly parallel with the North and South Road, 16 rods and to the center of the Lake Geneva Road, so-called; thence Easterly along the center line of the Lake Geneva Road, 10 rods, to the place of beginning, and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II: Part of the Northeast Quarter of Section 8, Town 1 North in Range 22 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, and being more particularly described as follows: Beginning on the North line of the Northeast quarter of Section 8, Town 1 North in Range 22, at a point which is 165 feet West from the Northeast corner of said quarter section, and running thence West along and upon the North line of said quarter section, 165 feet; thence running South, parallel with the East line of said quarter section, 264 feet; thence running East, parallel with the North line of said quarter section, 165 feet; thence running North 264 feet to the place of beginning, EXCEPTING therefrom the North 33 feet thereof, falling within Highway 50.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.

Legal also described as:

All that part of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast $\frac{1}{4}$ section; thence South $02^{\circ}49'58''$ East and along the East line of the said Northeast $\frac{1}{4}$ section, 264.00 feet to a point; thence South $89^{\circ}46'36''$ West and parallel to the North line of the said Northeast $\frac{1}{4}$ section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. H) and the place of beginning of land hereinafter described; Continuing thence South $89^{\circ}46'36''$ West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast $\frac{1}{4}$ section, 269.94 feet to a point; thence North $02^{\circ}49'58''$ West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast $\frac{1}{4}$ section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. 50); thence North $87^{\circ}24'45''$ East and along the said South Right-of-Way line, 70.97 feet to a point; thence South $74^{\circ}02'18''$ East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. H); thence South $02^{\circ}49'58''$ East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast $\frac{1}{4}$ Section 39.56 feet to the point of beginning of this description.

NOTE: Property Address: 7510 88th Avenue
Tax Key No. 91-4-122-081-0010

PARCEL II:

Outlot 18 in Prairie Ridge, being a subdivision of part of the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northwest Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northeast Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Southwest Quarter; and the Northwest Quarter and the Southwest Quarter of the Southeast Quarter of Section 8, Town I North, Range 22 East of the Fourth Principal Meridian; in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

NOTE: Property Address: 76th Street

Tax Key No. 91-4-122-081-0105

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

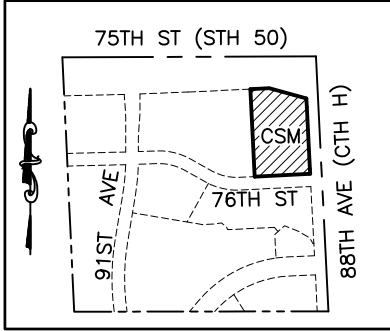
NOTES:

PRAIRIE RIDGE SUBDIVISION RECORDED ON MARCH 12, 1998 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1088727.

EXISTING RESIDENTIAL BUILDINGS AND GARAGES TO BE RAZED.

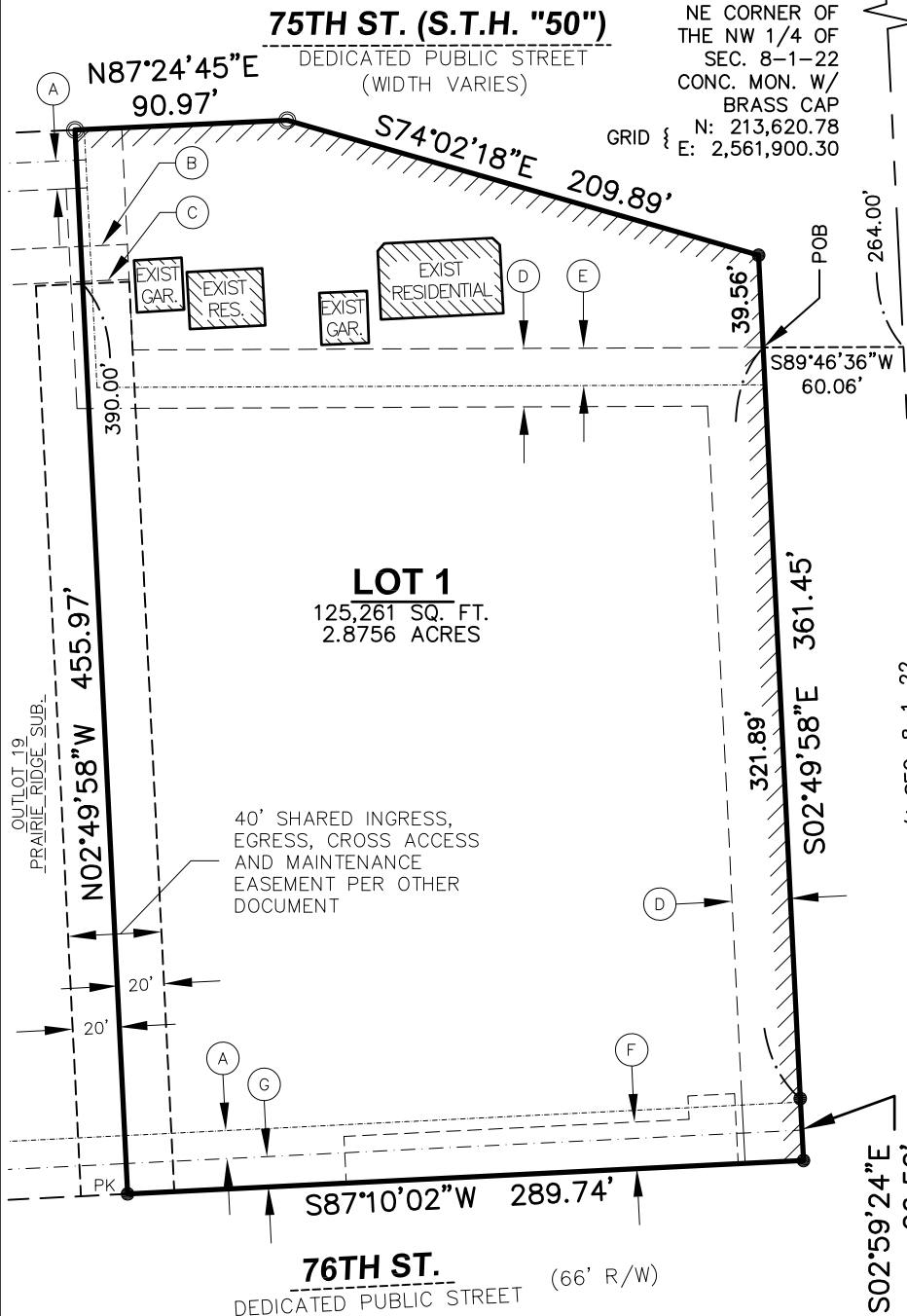
LEGEND:

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4 REBAR FOUND & ACCEPTED
- PK ● PK NAIL FOUND & ACCEPTED
- SET ○ 1"X18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- ▨ ACCESS RESTRICTED PER PRAIRIE RIDGE SUBDIVISION & DOC. NO. 429676



LOCATION MAP

NE 1/4 OF NE 1/4 SEC 8-1-22
SCALE: 1"=1000'



- (A) DEDICATED 12' UTILITY EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (B) 50' D.O.T. BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (C) 65' VILLAGE BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (D) DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA PER FINAL PLAT OF "PRAIRIE RIDGE"
- (E) DEDICATED 16' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1071378
- (F) DEDICATED 20' STORM SEWER EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (G) DEDICATED 13' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1184097

PREPARED FOR:
KWIK TRIP, INC
1626 OAK STREET
LA CROSSE, WI 54602

PREPARED BY:

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX



BEARING BASIS

ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 02°49'58" WEST

PROJECT CONVERSION FACTOR: GRID/1.00000319 = GROUND

SUBJECT TO EASEMENTS OF RECORD.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS _____ DAY OF FEBRUARY, 2015
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

R:\2014\1406612 Kwik Trip - Pleasant Prairie.dwg\1406612 CSM.dwg

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS:

**DEDICATED 40' SHARED INGRESS, EGRESS, CROSS ACCESS AND MAINTENANCE EASEMENT
(TO BE DEDICATED AND RECORDED VIA OTHER DOCUMENT)**

A perpetual nonexclusive easement coextensive with the area shown as a Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement (The east 20' feet) on Lot 1 of this Certified Survey Map is hereby dedicated, given, granted and conveyed by KWIK TRIP LLC to the Owner(s) of Outlot 19 of Prairie Ridge Subdivision and the Village for vehicular ingress, egress and cross access purposes. This Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement shall be exclusive, except for: (1) the Existing Dedicated 12' Utility Easement as dedicated on Prairie Ridge Subdivision with respect to the same area or any portion thereof; (2) the Existing Dedicated 25' Planting and Landscape Easement and Restricted Planting, Landscape and Vehicle non-access area as dedicated on Prairie Ridge Subdivision with respect to the same area or any portion thereof; (3) the Dedicated 16' Distribution Easement Underground Joint as dedicated on Document No. 1071378 with respect to the same area or any portion thereof; and (4) the Dedicated 13' distribution Easement Underground Joint as dedicated on Document No. 1184097 with respect to the same area or any portion thereof. In the event of any conflict between the rights of the Owner(s) of said Lot 1 and Outlot 19 of Prairie Ridge Subdivision, the rights of the Village or other entities with respect to the Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under these easement. The Owner(s) of said Lot 1 and Outlot 19 of Prairie Ridge Subdivision shall be responsible for all costs associated with the construction, snow plowing and maintenance of the private access drives and associated pavement and landscaping improvements.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST,
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED PUBLIC STREET

The fee interest in the area shown as a Dedicated Public Street on this Certified Survey Map was dedicated, given, granted and conveyed on the previous Prairie Ridge Subdivision Plat to the Village of Pleasant Prairie, its successors and assigns (referred to as the "Village") for the construction, installation, repair, alteration, replacement, and maintenance of public street improvements, uses and purposes, including, without limitation, street pavement, curbs and gutters, sidewalks, street signs, street lights, bike lanes, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and other landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting, maintenance, and access activities. Such fee interest is subject to the following: (1) a nonexclusive easement coextensive with the Dedicated Public Street area shown on this Certified Survey Map and granted to the adjacent Lot Owners for street terrace grading, placing topsoil and seeding, street trees and other landscaping planting, the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and their properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the roadway and their properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions); and (2) a nonexclusive easement for the Prairie Ridge Commercial Association, Inc. (hereinafter referred to as the "Association") for the planting and maintenance of grass and street trees, and the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and the properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the public roadway and the adjacent properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village, but not the obligation to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions and assess such costs to the abutting properties); and in the event of any conflict between the rights of the Village under its fee interest in the Dedicated Public Streets, the Association, or of the Lot Owner(s), pursuant to the easements retained herein, the rights of the Village shall be deemed to be superior.

The adjacent Lot Owners shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement, planting and maintenance of the public sidewalks, and private driveways, public street lights energy and maintenance costs, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance in accordance with the terms and conditions of the Village Land Division and Development Control Ordinance and obligations under the original Prairie Ridge Development Agreement on file with the Village Clerk for the Village of Pleasant Prairie.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED 12' UTILITY, 13' DISTRIBUTION AND 16' DISTRIBUTION EASEMENTS

Easements coextensive with the areas shown as Dedicated Utility Easement areas on Lot 1 of this Certified Survey Map were dedicated, given, granted and conveyed to WE Energies, AT & T and Time Warner Cable Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees") per recorded Prairie Ridge Subdivision, Document No. 1184097 and No. 1071378, for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the Lots, (or portions thereof) shown on this Certified Survey Map and for any related ingress and egress. These easements shall also include the right to trim or cut down trees, bushes, branches, and roots as reasonably required interfering with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the easement areas shall not be altered by more than four (4) inches of final grade without the written approval of the Utility and Communications Grantees. Upon the installation of the utilities, the Lot Owner shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement is entered into between the Owner(s) and Grantees regarding the transfer of the restoration and maintenance responsibilities to the Grantees. No buildings, fences, or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees.

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public street areas to a vegetatively stabilized condition, the abutting Lot Owner(s) shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTIVE PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREAS

Nonexclusive easements co-extensive with each area shown on Lot 1 of this Certified Survey Map as a Dedicated 25' Planting and Landscape Easement and Restrictive Planting, landscape and Vehicle Non-Access Area were dedicated, given, granted and conveyed per recorded Prairie Ridge Subdivision to the Village for the purposes of planting and installing trees, shrubs and other landscape elements and all related ingress and egress requirements, grading, replacement and maintenance activities. In the event of any conflict between the rights of the Owner(s) and the rights of the Village or other easement holder entities with respect to the dedicated planting and landscape easement and vehicle non-access area, the Village's rights under these easements shall be deemed to be superior. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements. The adjacent Lot Owner shall be responsible for all costs associated with the of planting and installing trees, shrubs and other landscape elements and all related grading, replacement and maintenance activities within these nonexclusive easement areas and the access restrictions as noted.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED 20' STORM SEWER EASEMENT

Perpetual nonexclusive easements coextensive with the area shown on Lot 1 of this Certified Survey Map as a Dedicated 20' Sanitary Sewer Easement were dedicated, given, granted and conveyed as shown per recorded Prairie Ridge Subdivision at the Kenosha County Register of Deeds Office to the Village for public storm sewerage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities and public water system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. These storm sewer easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Owner(s) of the Lot 1 on which such easements are located as will not interfere with the improvements, uses and purposes of the Village as it relates to these easements; and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the easement areas as may be approved by the Village. In the event of any conflict between the rights of the Lot Owner(s), the rights of the Village and the rights of other entities with respect to the sanitary sewer easement areas, the Village's rights under these easements shall be deemed to be superior.

The easement rights include the perpetual right to enter upon Lot 1 within the storm sewer easement areas at any time that the Village may see fit, to re-construct, maintain, use and repair the underground sewer main(s) and related appurtenances, which may in any manner be a part of or portion to such sanitary sewer main for the purpose of conveying sanitary sewer under Lot 1, together with the right to excavate, reconstruct, maintain, use and repair the sanitary sewer system improvements, and the further right to remove trees, bushes, parking/driveway pavement areas, landscaping, landscaped islands, sidewalks, curbs and gutters, signage, underground and other obstructions interfering with the location, reconstruction, use and maintenance of the sanitary sewer system improvements.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN
THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST,
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

State of Wisconsin)
) SS
Kenosha County)

I, Rizal W. Iskandarsjach, Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped a redivision of Outlot 18 of Prairie Ridge Subdivision and additional lands, located in the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the northeast corner of the Northeast 1/4 of said Section 8; thence South 02°49'58" East along the east line of said Northeast 1/4 section, 264.00 feet to the easterly extension of the north line of said Outlot 18; thence South 89°46'36" West along said extension line, 60.06 feet to the west line of 88th Avenue (County Trunk Highway "H") and the point of beginning;

Thence South 02°49'58" East along said west line, 321.89 feet; thence South 02°59'24" East along said west line, 26.52 feet to the north line of 76th Street; thence South 87°10'02" West along said north line, 289.74 feet to the southeast corner of Outlot 19 of Prairie Ridge Subdivision; thence North 02°49'58" West along the east line of said Outlot 19, 455.97 feet to the northeast corner of said Outlot 19 and the south line of 75th Street (State Trunk Highway "50"); thence North 87°24'45" East along said south line, 90.97 feet; thence South 74°02'18" East along said south line, 209.89 feet to the west line of said 88th Avenue (County Trunk Highway "H"); thence South 02°49'58" East along said west line, 39.56 feet to the point of beginning.

Containing in all 125,261 square feet (2.8756acres) of lands, more or less.

All subject to easements and restrictions of record, if any.

That I have made such survey, land division and map by the direction of KWIK TRIP, INC, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping the same.

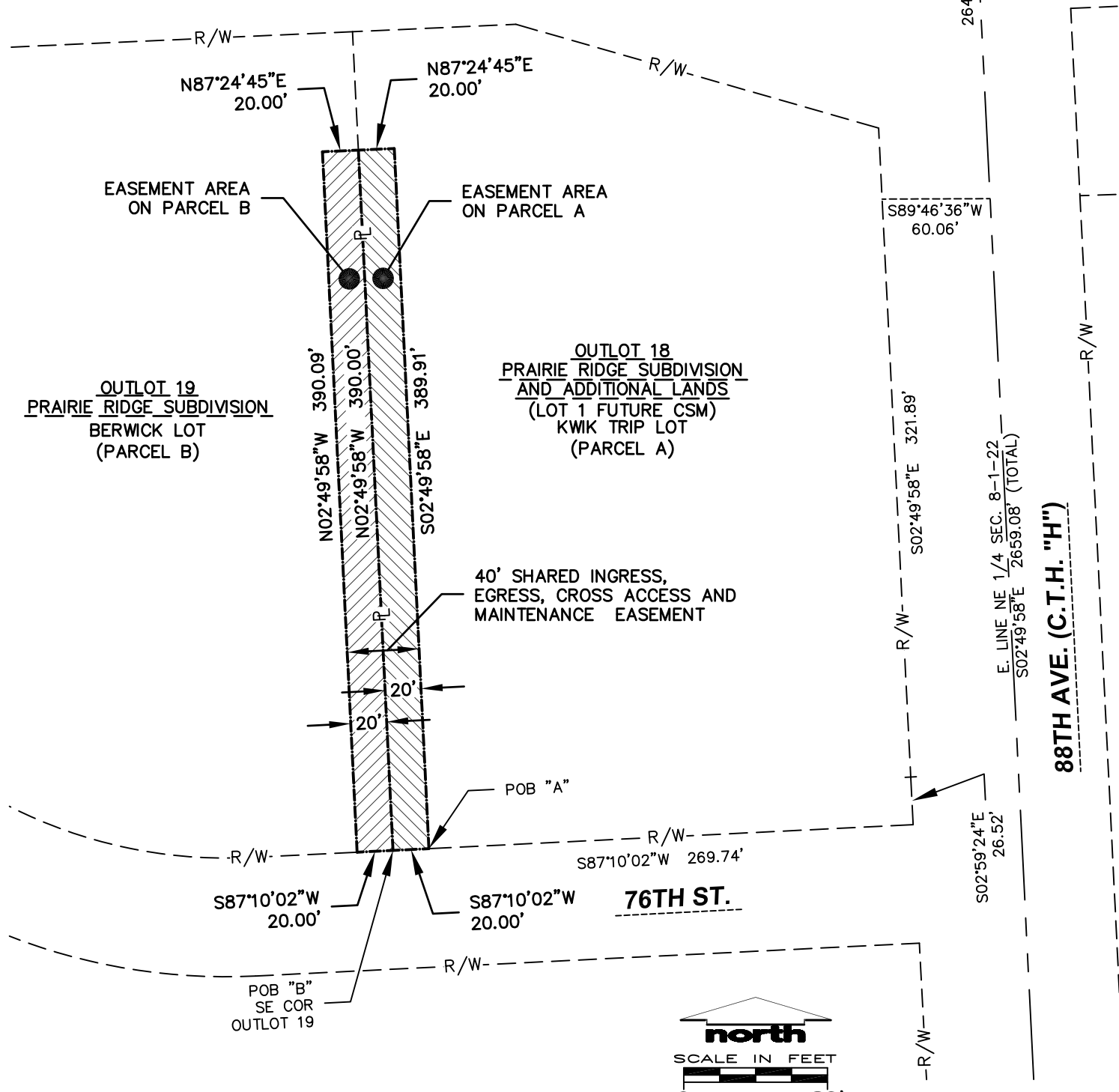
DATED THIS _____ DAY OF FEBRUARY, 2015

Rizal W. Iskandarsjach, P.L.S.
Professional Land Surveyor, S-2738

NW CORNER OF
THE NW 1/4 OF
SEC. 8-1-22
CONC. MON. W/
BRASS CAP



75TH ST. (S.T.H. "50")



R: 2014\14c6612 Kwik Trip - Pleasant Prairie\dwg\14c6612A Ease Exh.dwg User: riskandarsjach

<p>JSD Professional Services, Inc. Engineers • Surveyors • Planners</p> <p>MILWAUKEE REGIONAL OFFICE N22 W22931 NANCY'S COURT SUITE 3 WAUKESHA, WISCONSIN 53186 262.513.0666 PHONE 262.513.1232 FAX</p> <p>www.jsdinc.com</p>	PROJECT: KWIK TRIP CONVENIENCE STORE #172 VILLAGE OF PLEASANT PRAIRIE, WI	SHEET TITLE: ACCESS EASEMENT EXHIBIT	JSD PROJECT NUMBER: 14-6612A	SHEET NUMBER: EX-1
	DRAWN BY: RWI	CHECKED BY: RKW	DATE: 02-09-15	

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

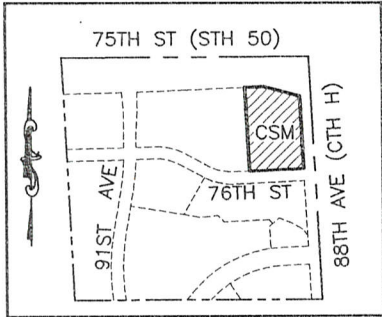
NOTES:

PRAIRIE RIDGE SUBDIVISION RECORDED ON MARCH 12, 1998 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1088727.

EXISTING RESIDENTIAL BUILDINGS AND GARAGES TO BE RAZED.

LEGEND:

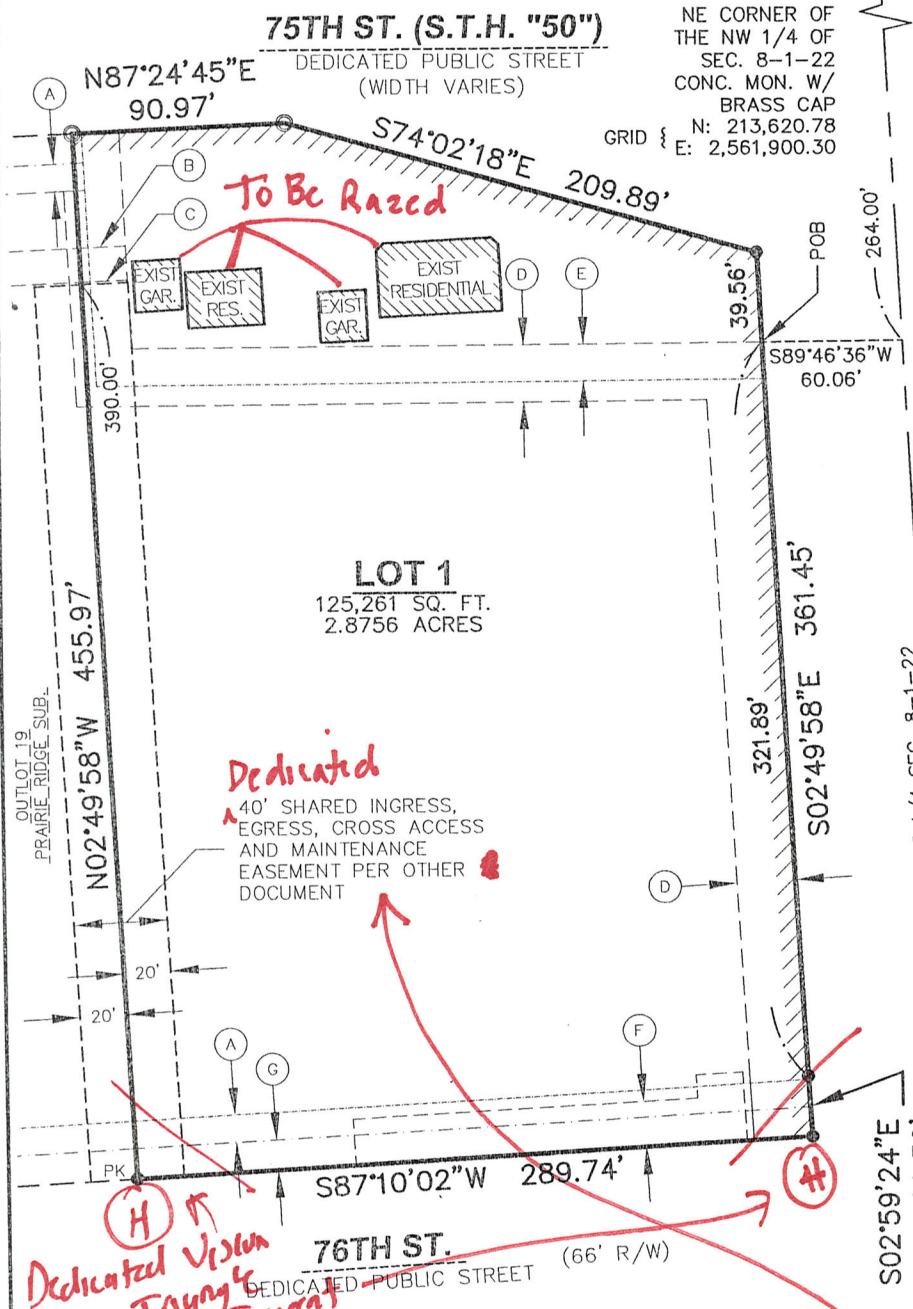
- 1" IRON PIPE FOUND & ACCEPTED
- 3/4 REBAR FOUND & ACCEPTED
- PK ● PK NAIL FOUND & ACCEPTED
- SET ○ 1"X18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- ▨ ACCESS RESTRICTED PER PRAIRIE RIDGE SUBDIVISION & DOC. NO. 429676



LOCATION MAP

NE 1/4 OF NE 1/4 SEC 8-1-22
SCALE: 1"=1000'

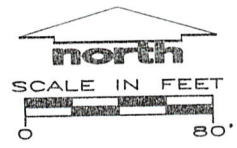
Label that the "Existing Residential, garage and other structures and pavement to be razed/removed."



- (A) DEDICATED 12' UTILITY EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (B) 50' D.O.T. BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (C) 65' VILLAGE BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (D) DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA PER FINAL PLAT OF "PRAIRIE RIDGE"
- (E) DEDICATED 16' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1071378
- (F) DEDICATED 20' STORM SEWER EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (G) DEDICATED 13' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1184097

PREPARED FOR:
KWIK TRIP, INC
1626 OAK STREET
LA CROSSE, WI 54602

PREPARED BY:
JSD Professional Services, Inc.
• Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX



Sidewalk location

RECEIVED

FEB 18 2015

PLEASANT PRAIRIE SHEET 1 OF 7

BEARING BASIS
ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 02°49'58" WEST
PROJECT CONVERSION FACTOR: GRID/1.00000319 = GROUND
SUBJECT TO EASEMENTS OF RECORD.
ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.
ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.
DATED THIS _____ DAY OF FEBRUARY, 2015
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

Provide a draft of this document to the Village.

R:\2014\1406612 Kwik Trip - Pleasant Prairie.dwg\1406612_CSM.dwg

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NEW EASEMENT DEDICATIONS:

**DEDICATED 40' SHARED INGRESS, EGRESS, CROSS ACCESS AND MAINTENANCE EASEMENT
(TO BE DEDICATED AND RECORDED VIA OTHER DOCUMENT)**

A perpetual nonexclusive easement coextensive with the area shown as a Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement (The east 20' feet) on Lot 1 of this Certified Survey Map is hereby dedicated, given, granted and conveyed by KWIK TRIP LLC to the Owner(s) of Outlot 19 of Prairie Ridge Subdivision and the Village for vehicular ingress, egress and cross access purposes. This Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement shall be exclusive, except for: (1) the Existing Dedicated 12' Utility Easement as dedicated on Prairie Ridge Subdivision with respect to the same area or any portion thereof; (2) the Existing Dedicated 25' Planting and Landscape Easement and Restricted Planting, Landscape and Vehicle non-access area as dedicated on Prairie Ridge Subdivision with respect to the same area or any portion thereof; (3) the Dedicated 16' Distribution Easement Underground Joint as dedicated on Document No. 1071378 with respect to the same area or any portion thereof; and (4) the Dedicated 13' distribution Easement Underground Joint as dedicated on Document No. 1184097 with respect to the same area or any portion thereof. In the event of any conflict between the rights of the Owner(s) of said Lot 1 and Outlot 19 of Prairie Ridge Subdivision, the rights of the Village or other entities with respect to the Dedicated 40' Wide Shared Ingress, Egress, Cross Access and Maintenance Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under these easement. The Owner(s) of said Lot 1 and Outlot 19 of Prairie Ridge Subdivision shall be responsible for all costs associated with the construction, snow plowing and maintenance of the private access drives and associated pavement and landscaping improvements.

insert maintenance language

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED PUBLIC STREET

The fee interest in the area shown as a Dedicated Public Street on this Certified Survey Map was dedicated, given, granted and conveyed on the previous Prairie Ridge Subdivision Plat to the Village of Pleasant Prairie, its successors and assigns (referred to as the "Village") for the construction, installation, repair, alteration, replacement, and maintenance of public street improvements, uses and purposes, including, without limitation, street pavement, curbs and gutters, sidewalks, street signs, street lights, bike lanes, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and other landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting, maintenance, and access activities. Such fee interest is subject to the following: (1) a nonexclusive easement coextensive with the Dedicated Public Street area shown on this Certified Survey Map and granted to the adjacent Lot Owners for street terrace grading, placing topsoil and seeding, street trees and other landscaping planting, the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and their properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the roadway and their properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions); and (2) a nonexclusive easement for the Prairie Ridge Commercial Association, Inc. (hereinafter referred to as the "Association") for the planting and maintenance of grass and street trees, and the snow clearance, maintenance, repair and replacement of sidewalks in the area between the roadway and the properties, and for the construction, installation, repair, replacement, maintenance and use of such driveways in the area between the public roadway and the adjacent properties as approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village, but not the obligation to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions and assess such costs to the abutting properties); and in the event of any conflict between the rights of the Village under its fee interest in the Dedicated Public Streets, the Association, or of the Lot Owners, pursuant to the easements retained herein, the rights of the Village shall be deemed to be superior.

The adjacent Lot Owners shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement, planting and maintenance of the public sidewalks, and private driveways, public street lights energy and maintenance costs, mailboxes, utility and communications facilities, street terrace grading, placing topsoil and seeding, street trees and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance in accordance with the terms and conditions of the Village Land Division and Development Control Ordinance, and obligations under the original Prairie Ridge Development Agreement on file with the Village Clerk for the Village of Pleasant Prairie.

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED 12' UTILITY, 13' DISTRIBUTION AND 16' DISTRIBUTION EASEMENTS (A, E, G)

Easements coextensive with the areas shown as Dedicated Utility Easement areas on Lot 1 of this Certified Survey Map were dedicated, given, granted and conveyed to WE Energies, AT & T and Time Warner Cable Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees") per recorded Prairie Ridge Subdivision, Document No. 1184097 and No. 1071378, for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the Lots, (or portions thereof) shown on this Certified Survey Map and for any related ingress and egress. These easements shall also include the right to trim or cut down trees, bushes, branches, and roots as reasonably required interfering with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the easement areas shall not be altered by more than four (4) inches of final grade without the written approval of the Utility and Communications Grantees. Upon the installation of the utilities, the Lot Owner shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purpose of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement is entered into between the Owner(s) and Grantees regarding the transfer of the restoration and maintenance responsibilities to the Grantees. No buildings, fences, or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees.

1

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public street areas to a vegetatively stabilized condition, the abutting Lot Owner(s) shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

1
the Lot 7 owner,

DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTIVE PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREAS (D)

Nonexclusive easements co-extensive with each area shown on Lot 1 of this Certified Survey Map as a Dedicated 25' Planting and Landscape Easement and Restrictive Planting, landscape and Vehicle Non-Access Area were dedicated, given, granted and conveyed per recorded Prairie Ridge Subdivision to the Village for the purposes of planting and installing trees, shrubs and other landscape elements and all related ingress and egress requirements, grading, replacement and maintenance activities. In the event of any conflict between the rights of the Owner(s) and the rights of the Village or other easement holder entities with respect to the dedicated planting and landscape easement and vehicle non-access area, the Village's rights under these easements shall be deemed to be superior. Notwithstanding such easements, the Village shall have no obligation to exercise its rights under these easements. The adjacent Lot Owner shall be responsible for all costs associated with the off planting and installing trees, shrubs and other landscape elements and all related grading, replacement and maintenance activities within these nonexclusive easement areas and the access restrictions as noted.

of 2

R:\2014\466612 Kwik Trip - Pleasant Prairie\dwg\1466612_CSM.dwg

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

EXISTING EASEMENT DEDICATIONS:

DEDICATED 20' STORM SEWER EASEMENT (F) *of*

Perpetual nonexclusive easements coextensive with the area shown on Lot 1 *of* this Certified Survey Map as a Dedicated 20' Sanitary Sewer Easement were dedicated, given, granted and conveyed as shown per recorded Prairie Ridge Subdivision at the Kenosha County Register of Deeds Office to the Village for public storm sewerage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities and public water system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. These storm sewer easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such above-ground use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Owner(s) *of the* Lot 1 on which such easements are located as will not interfere with the improvements, uses and purposes of the Village as it relates to these easements; and (3) such future parking lots, driveways, curbs and gutters, sidewalks, landscaping, landscape islands or other uses of the easement areas as may be approved by the Village. In the event of any conflict between the rights of the Lot Owner(s), the rights of the Village and the rights of other entities with respect to the sanitary sewer easement areas, the Village's rights under these easements shall be deemed to be superior. *!*

The easement rights include the perpetual right to enter upon Lot 1 within the storm sewer easement areas at any time that the Village may see fit, to re-construct, maintain, use and repair the underground sewer main(s) and related appurtenances, which may in any manner be a part of or portion to such sanitary sewer main for the purpose of conveying sanitary sewer under Lot 1, together with the right to excavate, reconstruct, maintain, use and repair the sanitary sewer system improvements, and the further right to remove trees, bushes, parking/driveway pavement areas, landscaping, landscaped islands, sidewalks, curbs and gutters, signage, underground and other obstructions interfering with the location, reconstruction, use and maintenance of the sanitary sewer system improvements.

Notwithstanding such easements, the village shall have no obligation to exercise its rights under these covenants.

*Add Restrictive Covenants
(see attached)*

DEDICATED VISION TRIANGLE EASEMENT (H)

Nonexclusive easements coextensive with the areas shown as a 15'x15' Dedicated Vision Triangle Easement on Lot 1 of this CSM are hereby dedicated, given, granted and conveyed by the Lot 1 Owner to the Village to maintain a clear sight line of vision at each identified intersection. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, vegetation and shelters within the 15'x15' Dedicated Vision Triangle Easement between the heights of two (2) feet and ten (10) feet unless approved by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village.

RESTRICTIVE COVENANTS

1. The Owner hereby covenants that the Public Sidewalk in the Dedicated Public Street area which is shown on the CSM hereby places restrictions on the use of the referenced land because of the location of this Easement, which was given, granted and conveyed by the Owner to the Village for public pedestrian and bicycle uses, purposes and improvements and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, plantings and maintenance activities to serve the Village as referenced in the Dedication and Easement Provisions on this CSM. The Owner further covenants that there shall be no buildings, signs, fences or gates of any kind placed within the Dedicated Public Street area without prior written approval of the Village. The Lot 1 Owner shall be responsible for any and all costs associated with the installation of the pedestrian and bicycle sidewalk, pavement markings and signs snow plowing and maintenance costs related to the sidewalk. This covenant shall run with the land, shall be binding upon the Lot Owners, its successors, assigns and successors-in-title of the land, in their capacity as Lot Owners of this land, and shall benefit and be enforceable by the Village.

To the extent that the Village performs any such sidewalk maintenance or snow plowing activities, the Lot 1 Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

2. The Owner hereby covenants that the Dedicated Vision Triangle Easement areas shown on this CSM hereby places restrictions on the referenced land because of the location of this Easement which was given, granted and conveyed by the Owner to maintain a clear sight line of vision at the County Trunk Highway H and 76th Street intersection and the Private Driveway and 76th Street intersection. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, trees, plantings, or bus shelters permitted within the Dedicated Vision Triangle Easement between the heights

of two (2) feet and 10 feet unless approved by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village or Kenosha County.

3. The Owner hereby covenants that the Lot 1 Owner shall have the obligation of planting, maintaining and replacing the Street Trees located within the 76th Street right-of-way shown on this CSM. Such planting and maintenance shall include without limitation and as needed planting, staking, mulching, weeding, pruning, watering, replanting, and removing of trash, debris, leaves and brush around the trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-ways, which might damage the street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the respective Lot Owners, its successors, successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1 and shall benefit and be enforceable by the Village. Such street tree planting and maintenance shall be performed regularly by the Lot Owner, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such street tree related replanting or maintenance activities, the Lot 1 Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

4. The Owner shall have the obligation of maintaining, repairing, replacing and snow plowing the Private Roadway within the 40' Shared Ingress, Egress, and Cross Access area shown on this CSM. The Private Driveway shall not have its access be blocked by its users. A separate document which details the Owner's and adjacent landowners obligations with respect to the ongoing maintenance, replacement and snowplowing responsibilities. (DISCUSS WITH THE LANDOWNER).



**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
 Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.
 To construct a new or addition to principal or accessory structure.
 Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	<u>2/16</u> 20 <u>15</u>
Preliminary Determination of Completeness on:	<u>2/20</u> 20 <u>15</u>
Revised Plans Submitted:	<u>20</u>
<input checked="" type="checkbox"/> Public Hearing Required: Hearing Date:	<u>2/23/15</u> , 20 <u>15</u>
Published on:	<u>3/9</u> and <u>3/16</u> , 20 <u>15</u> Notices sent on: <u>3/5/15</u> , 20 <u>15</u>
Approved by <input type="checkbox"/> Plan Commission on	<u>20</u>
<input type="checkbox"/> Zoning Administrator on	<u>20</u>
Denied by <input type="checkbox"/> Plan Commission on	<u>20</u>
<input type="checkbox"/> Zoning Administrator on	<u>20</u>

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Kwik Trip Convenience Store #172

SITE ADDRESS: 76th Street

BRIEF PROJECT DESCRIPTION: _____

Kwik Trip Convenience Store with fuel pump and double bay carwash.

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 5

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 20

SITE SIZE: 124,262 sq. ft. 2.8756 acres

PROPOSED BUILDING SIZE: 10,150 sq.ft. **HEIGHT:** 22'-6" ft. 26'-6" fuel

PROPOSED ADDITION SIZE: _____ sq.ft. **HEIGHT:** _____ ft. canopy

LEGAL DESCRIPTION: See Attached

TAX PARCEL NUMBER(S) : 91-4-122-081-0010 and 91-4-122-081-0105

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: B-2 w/ UHO

1. Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): 91-4-122-081-0010 rezone to B-2 w/ PUD
2. Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) _____ sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B _____ sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: 60

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan: An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan
- Amendment to an existing Site and Operational Plan
 - Date of initial site and operational plan approval: _____
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? _____

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. Does the proposed project require a Conditional Use Permit? YES NO
 - If no then skip to Section 5.
 - If yes, then continue with this Section.
2. Are you amending an existing Conditional Use Permit? YES NO
 - If yes, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - If no, continue with this Section.
3. If you answered YES to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. Is any use on the site a nonconforming use? YES NO
 - If no, then skip to Section 7.
 - If yes, then continue with this section.
2. If you answered YES to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**

- Application—Applicant, Site, Use, Project and Plan Information
 - Application fee
 - Operational plan
 - Title sheet
 - Survey
 - Site plan
 - Grading and drainage plan
 - Building and fire protection plans
 - Lighting plan
 - Landscape and open space plan
 - Signage plan
 - Industrial/commercial waste survey
 - Performance standards compliance
 - Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.
- Kenosha airport
permit applied for

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.

SECTION 8: SIGNATURES

I, (We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: SBI Pleasant Prairie WI LLC
(Please Print)
Signature: [Signature]
Address: 1144 W. Fullon/McKitt #200
WILKINSON IL 60007
(City) (State) (Zip)
Phone: 312-759-5620
Fax: 312-759-5620
E-mail: DBALOWILH@MADISONOFFICIALS.COM
Date: 2/21/15

APPLICANT:

KWIK TRIP INC
Name: LEAH N. BERLIN
(Please Print)
Signature: [Signature]
Address: 1626 Oak Street
Lacrosse WI 54603
(City) (State) (Zip)
Phone: 608-793-6461
Fax: 608-781-8960
E-mail: lberlin@kwiktrip.com
Date: 2/20/15

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: _____
(Please Print)
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

USER OR OCCUPANT OF SITE:

Name: Kwik Trip Inc.
(Please Print)
Signature: [Signature]
Address: 1626 Oak Street
Lacrosse WI 54603
(City) (State) (Zip)
Phone: 608-793-6461
Fax: 608-781-8960
E-mail: lberlin@kwiktrip.com
Date: 2/20/15

LEGAL DESCRIPTION:

(Per Landmark Title Corporation, Title Commitment No. LT-136200, effective date October 20, 2014)

PARCEL I:

Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, particularly described as commencing at the Northeast corner of Section 8 aforesaid; thence Southerly along the center line of the North and South Road 16 rods; thence Westerly parallel with the Lake Geneva Road, so-called, 10 rods; thence Northerly parallel with the North and South Road, 16 rods and to the center of the Lake Geneva Road, so-called; thence Easterly along the center line of the Lake Geneva Road, 10 rods, to the place of beginning, and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Parcel II: Part of the Northeast Quarter of Section 8, Town 1 North in Range 22 East of the Fourth Principal Meridian, and lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, and being more particularly described as follows: Beginning on the North line of the Northeast quarter of Section 8, Town 1 North in Range 22, at a point which is 165 feet West from the Northeast corner of said quarter section, and running thence West along and upon the North line of said quarter section, 165 feet; thence running South, parallel with the East line of said quarter section, 264 feet; thence running East, parallel with the North line of said quarter section, 165 feet; thence running North 264 feet to the place of beginning, EXCEPTING therefrom the North 33 feet thereof, falling within Highway 50.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.

Legal also described as:

All that part of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast $\frac{1}{4}$ section; thence South $02^{\circ}49'58''$ East and along the East line of the said Northeast $\frac{1}{4}$ section, 264.00 feet to a point; thence South $89^{\circ}46'36''$ West and parallel to the North line of the said Northeast $\frac{1}{4}$ section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. H) and the place of beginning of land hereinafter described; Continuing thence South $89^{\circ}46'36''$ West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast $\frac{1}{4}$ section, 269.94 feet to a point; thence North $02^{\circ}49'58''$ West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast $\frac{1}{4}$ section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. 50); thence North $87^{\circ}24'45''$ East and along the said South Right-of-Way line, 70.97 feet to a point; thence South $74^{\circ}02'18''$ East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. H); thence South $02^{\circ}49'58''$ East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast $\frac{1}{4}$ Section 39.56 feet to the point of beginning of this description.

NOTE: Property Address: 7510 88th Avenue
Tax Key No. 91-4-122-081-0010

PARCEL II:

Outlot 18 in Prairie Ridge, being a subdivision of part of the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northwest Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northeast Quarter; the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Southwest Quarter; and the Northwest Quarter and the Southwest Quarter of the Southeast Quarter of Section 8, Town I North, Range 22 East of the Fourth Principal Meridian; in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

NOTE: Property Address: 76th Street

Tax Key No. 91-4-122-081-0105

SECTION 2: EXISTING USES AND BUILDING ON SITE

Property 91-1-122-081-0010 contains two residential buildings and two garages along with associated gravel drive and parking. One building is a one-story single residential framed building and the second building is a two-story multi-unit residential framed building. The buildings within this property planned to be razed and turned into green space.

SHEET INDEX

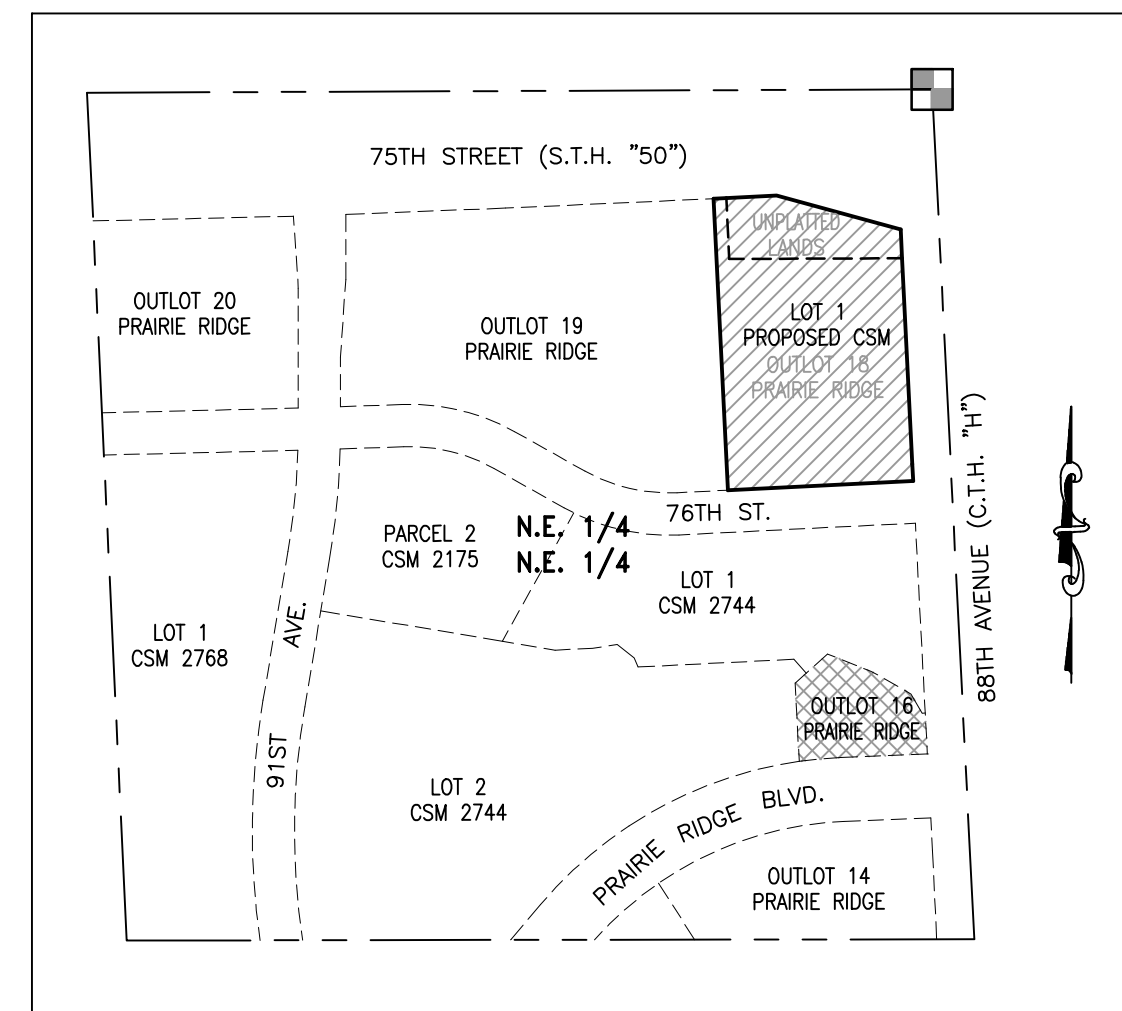
1 OF 22 TITLE SHEET
 2 OF 22 SITE LAYOUT AND PAVEMENT ID PLAN (SP1.0)
 3 OF 22 SITE DEMO PLAN (SP2.0)
 4 OF 22 GRADING AND EROSION CONTROL PLAN (SP3.0)
 5 OF 22 GRADING AND EROSION CONTROL PLAN (SP3.1)
 OFFSITE IMPROVEMENTS
 6 OF 22 UTILITY PLAN (SP4.0)
 STORM SEWER
 7 OF 22 UTILITY PLAN (SP4.1)
 SANITARY SEWER AND WATER SERVICES
 8 OF 22 NOTES & DETAILS (SP5.0)
 9 OF 22 NOTES & DETAILS (SP5.1)
 10 OF 22 LANDSCAPE PLAN (L1.0)
 11 OF 22 STORE/CARWASH FLOOR PLAN (A010)
 12 OF 22 STORE/CARWASH ELEVATION (A200B)
 13 OF 22 FUEL PUMP CANOPY (A200)
 14 OF 22 SIGNAGE PLAN - SITE PLAN (SP1)
 15 OF 22 SIGNAGE PLAN - STORE/CARWASH (CS1)
 16 OF 22 SIGNAGE PLAN - STORE/CARWASH(CS2)
 17 OF 22 SIGNAGE PLAN - CANOPY SIGNAGE (CA1)
 18 OF 22 SIGNAGE PLAN - CANOPY SIGNAGE (CA2)
 19 OF 22 SIGNAGE PLAN - DIRECTIONAL SIGNAGE (DS1)
 20 OF 22 SIGNAGE PLAN - MONUMENT SIGN (DS2)
 21 OF 22 SITE PHOTOMETRIC PLAN (E1)
 22 OF 22 SITE PHOTOMETRIC PLAN (E1-CITY)

KWIK TRIP #172

STH '50"/CTH "H"

PLEASANT PRAIRIE, KENOSHA COUNTY, WI SITE & OPERATIONAL SUBMITTAL FEBRUARY 15, 2014

Exhibit E



LOCATION MAP

NE 1/4 OF NE 1/4
 SECTION 8-1-22
 SCALE: 1"=300'



STORES



STORES

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GENERAL NOTES:

- BUILDINGS SHALL BE BUILT TO 2009 IBC, IMC, IECC, IFGC, 2011 NEC AND WI PLUMBING CODES SPS 381-385.
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED, MODERATED AND DOCUMENTED BY THE DESIGN ENGINEER OF RECORD.
- ALL HARD SURFACED AREAS INCLUDING THE PARKING LOT AREAS, DRIVE LANES, PAVED AREAS ADJACENT TO THE PUMPS, SIDEWALKS, ETC. SHALL BE CLEAN, NEAT AND FREE FROM POT HOLES OR OTHER CRACKS WHICH PRESENT A SAFETY RISK TO THE PEDESTRIANS OR TRAVELING PUBLIC. THE HARD SURFACE AREAS OF THE SITE SHALL BE MAINTAINED AND FREE OF ANY DEBRIS OR POTHOLES WHICH MAY CAUSE DISTRACTIONS OR DAMAGES TO VEHICLES. ALL PAVEMENT MARKINGS SHALL BE DONE IN YELLOW OR WHITE REFLECTIVE PAINT.
- THE FACILITY SHALL OPERATE IN AN ORGANIZED, WELL-KEPT, CLEAN, NEAT AND PROFESSIONAL MANNER. THE INSIDE OF THE STORE SHALL BE MAINTAINED, PAINTED, AND CLEAN FOR THE PUBLIC. DAMAGED OR DIRTY WALLS, FLOORS, COOLERS, BATHROOMS, RACKING, DISPLAYS LIGHTING, ETC. SHALL BE TAKEN CARE OF OR REPAIRED PROMPTLY. MAL-FUNCTIONING GAS PUMPS SHALL BE REPAIRED AS SOON AS POSSIBLE.
- LANDSCAPING ON THE SITE SHALL BE INSTALLED, WATERED, WEEDED, TRIMMED AND MAINTAINED IN GOOD CONDITION AT ALL TIMES. LITTER AND DEBRIS SHALL BE REMOVED FROM THE LANDSCAPING ON A DAILY BASIS. DAMAGED, DYING OR DEAD PLANT MATERIAL SHALL BE REMOVED AND NEW PLANTINGS SHALL BE INSTALLED ON A REGULAR BASIS. MULCH SHALL BE RAKED IN PLACE ON A REGULAR BASIS AND REPLACED YEARLY.
- ALL SIGNS SHALL BE IN GOOD WORKING ORDER, PROPERLY MAINTAINED, AND REPAIRED AS NEEDED, PAINTED AND WELL-KEPT.
- THE USE, OPERATIONS, SITE, BUILDING AND STRUCTURES SHALL BE DESIGNED, LAID OUT, CONSTRUCTED AND MAINTAINED IN FULL COMPLIANCE WITH THE APPROVED SITE AND OPERATIONAL PLANS, THE CONDITIONAL USE PERMIT, LIQUOR AND TOBACCO LICENSES AND ALL OTHER APPLICABLE PROVISIONS OF THE VILLAGE MUNICIPAL CODE AND ALL OTHER APPLICABLE VILLAGE, COUNTY, STATE BUILDING CODES, FIRE & RESCUE ORDINANCES AND NATIONAL AND FEDERAL REGULATIONS.
- THE USE, OPERATIONS, SITE, BUILDING AND STRUCTURES SHALL BE CONDUCTED IN SUCH A WAY AS TO CONSTITUTE A PUBLIC OR PRIVATE NUISANCE OR TO VIOLATE ANY OF THE PERFORMANCE STANDARDS SET OUT IN SECTION 420-38 OF THE VILLAGE ZONING ORDINANCE.
- THE SITE, BUILDING AND GARBAGE DUMPSTER STRUCTURE SHALL BE MAINTAINED IN A CLEAN, NEAT, PRESENTABLE, AESTHETICALLY PLEASING, ODOR-FREE, STRUCTURALLY SOUND AND NONHAZARDOUS CONDITION INSIDE AND OUTSIDE OF THE STORE AT ALL TIMES. ALL LITTER AND DEBRIS OUTSIDE OF THE STRUCTURES SHALL BE PROMPTLY REMOVED ON A DAILY BASIS. THE GARBAGE DUMPSTER ENCLOSURE DOORS SHALL NOT BE LEFT OPEN AND ON GARBAGE DAY THEY SHALL BE PROMPTLY CLOSED AFTER THE PICK-UP OF GARBAGE.
- THE HANDICAPPED PARKING SPACE SHALL BE APPROPRIATELY SIGNED, PAINTED ON THE PAVEMENT AND MAINTAINED PURSUANT TO ADA REQUIREMENTS.
- ALL EXTERIOR MECHANICAL UNITS, ANTENNAE AND/OR SATELLITE DISHES, WHETHER ROOF-MOUNTED OR GROUND-MOUNTED, SHALL BE SCREENED FROM THE GENERAL PUBLIC'S VIEW.
- THERE SHALL BE NO OUTSIDE SALE OR DISPLAY OF MERCHANDISE, EXCEPT FOR THE TWO (2) ICE DISPENSER AND ONE (1) LP DISPENSER. ANY ICE OR LP DISPENSERS/CABINETS SHALL BE MAINTAINED (NOT RUSTED IN APPEARANCE) AND SHALL NOT BLOCK ANY WINDOWS OR DOORWAYS.
- NO MERCHANDISE SHALL BE STACKED OR PILED INSIDE THE STORE IN FRONT OF ANY WINDOWS.
- ONLY TYPICAL HOUSEHOLD CLEANERS USED IN THE MAINTENANCE OF THE BUSINESS IN ORDER TO CLEAN THE FOOD PREPARATION AND SERVICE AREAS, FLOORS AND BATHROOMS. THE ONLY WASTE THAT IS DISPOSED OF AT THE SITE IS SPOILED FOOD AND DRINK PRODUCTS, GREY WATER WASTE AND SANITARY WASTE FROM THE BATHROOMS.
- THE OWNER SHALL OBTAIN AND MAINTAIN ALL PERMITS AND LICENSES REQUIRED TO OPERATE ITS BUSINESS. THOSE PERMITS AND LICENSES ALLOW FOR THE SALE OF PETROLEUM, ALCOHOL, TOBACCO, FOOD, AND RELATED ITEMS SOLD IN ITS BUSINESS. ISSUED FROM THE VARIOUS GOVERNMENT AGENCIES. CONTACT THE VILLAGE CLERK JANE ROMANOWSKI FOR LIQUOR OR TOBACCO LICENSE APPLICATIONS AND TO DISCUSS THE PROCESS TO OBTAIN SAID LICENSES. CONTACT THE KENOSHA COUNTY HEALTH DEPARTMENT REGARDING FOOD RELATED LICENSES.

BEARING BASIS:

ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NE 1/4 OF SECTION 8-1-22, WAS USED AS N02°49'58"W

REFERENCE BENCHMARK:

NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SECTION 8-1-22, CONCRETE MONUMENT WITH SEWRPC BRASS CAP. ELEVATION = 707.26

SITE BENCHMARKS:

BENCHMARK 1: CHISELED CROSS ON CURB HEAD, SOUTH SIDE OF WEST ADJACENT SITE ENTRANCE. ELEVATION = 715.95.

BENCHMARK 2: EAST FLANGE BOLT ON HYDRANT LOCATED ON NORTH SIDE OF 76TH ST., 60± FT. WEST OF CENTERLINE C.T.H. "H". ELEVATION = 707.01

PARCEL SIZE:	125,261 SF (2.8756 AC)
STORE/CARWASH FOOTPRINT:	10,150 SF
# OF PUMPS:	26 (2 E-85, 4 DIESEL)
# OF PARKING SPACES:	39 (2 HC)
BUILDING AREA:	10,150 SF 8.1%
PAVEMENT AREA:	57,488 SF 45.9%
GREEN SPACE AREA:	67,638 SF 46.0%

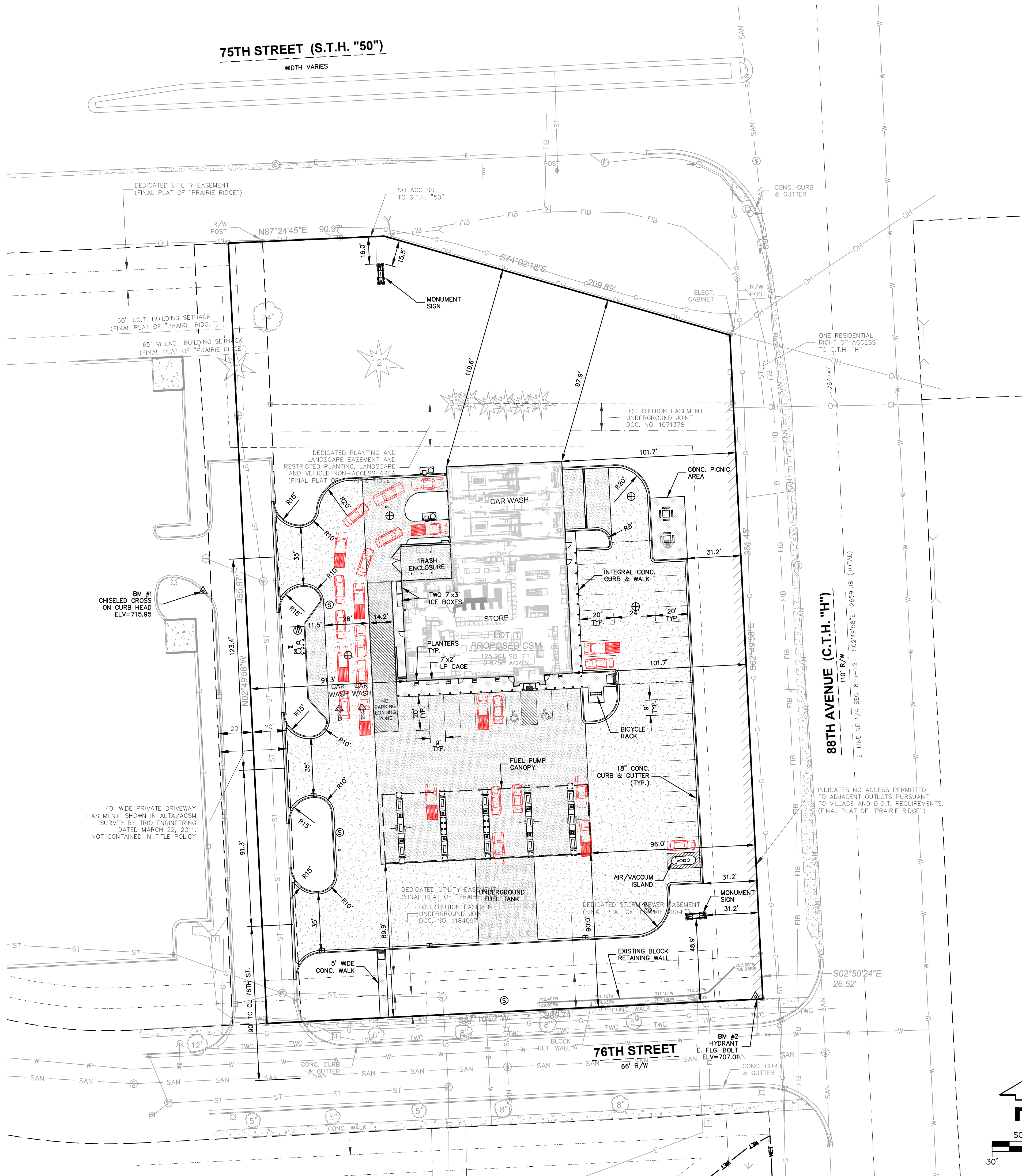


SITE MAP

SITE AND OPERATIONAL PLAN PACKAGE
CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH
 C.T.H. "H" AND 76TH ST. VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY JSK/RWI
 SCALE
 JSD PROJ. NO. 14-6612A
 DATE 02-15-2015
 SHEET 1 OF 22



PAVING NOTES

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES.
2. CONCRETE PAVING SPECIFICATIONS—
 CODES AND STANDARDS — THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2009. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 CRUSHED AGGREGATE BASE COURSE — THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 SURFACE PREPARATION — NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

PAVEMENT STRIPING NOTES

1. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS, STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATION)
8. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

NOTE

REFER TO GEOTECH REPORT BY ENGINEER OF RECORD, GILES ENGINEERING ASSOCIATES, INC., DATED FEBRUARY 2, 2015 FOR PAVEMENT THICKNESS RECOMMENDATION.

PAVEMENT STRUCTURE

- 8" CONCRETE PAVEMENT
 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE)
 8" CONCRETE (CONSULT OWNER FOR REINFORCEMENT, IF ANY, AND MIX DESIGN)
- 6" CONCRETE PAVEMENT
 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONE)
 6" CONCRETE (CONSULT OWNER FOR REINFORCEMENT, IF ANY, AND MIX DESIGN)
- CONCRETE SIDEWALK
 6" CRUSHED AGGREGATE BASE COURSE
 5" CONCRETE

LEGEND

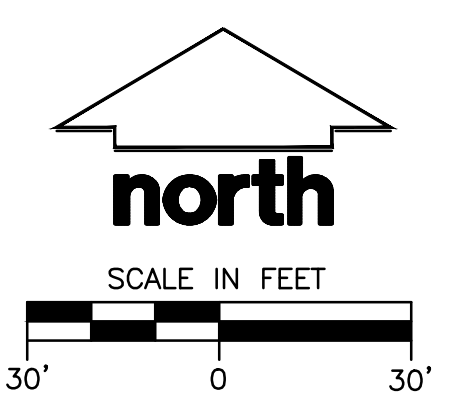
- ⊙ SANITARY SEWER MANHOLE
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- T — UNDERGROUND TELEPHONE
- FIB — UNDERGROUND FIBER OPTICS
- OH — OVERHEAD UTILITY
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE

PRE-DEVELOPMENT (PROPERTY LIMIT):
 PERVIOUS — 105,912 SF
 IMPERVIOUS — 19,349 SF

POST-DEVELOPMENT (PROPERTY LIMIT):
 PERVIOUS — 57,623 SF (46.0% GREEN SPACE)
 IMPERVIOUS — 67,638 SF (10,150 SF STORE/CARWASH)

88TH AVENUE (C.T.H. "H")
 110' R/W
 E. LINE NE 1/4 SEC. 8-1-22 S02°49'58"E 2659.08' (TOTAL)

INDICATES NO ACCESS PERMITTED TO ADJACENT OUTLOTS PURSUANT TO VILLAGE AND D.O.T. REQUIREMENTS. (FINAL PLAT OF "PRAIRIE RIDGE")



SHEET INDEX

SP1.0	SITE LAYOUT AND PAVEMENT ID PLAN
SP2.0	SITE DEMO PLAN
SP3.0	GRADING AND EROSION CONTROL PLAN
SP3.1	GRADING AND EROSION CONTROL PLAN OFFSITE IMPROVEMENTS
SP4.0	UTILITY PLAN STORM SEWER
SP4.1	UTILITY PLAN SANITARY SEWER AND WATER SERVICES
SP5.0	NOTES AND DETAILS
SP5.1	NOTES AND DETAILS

KWIK TRIP
STORES

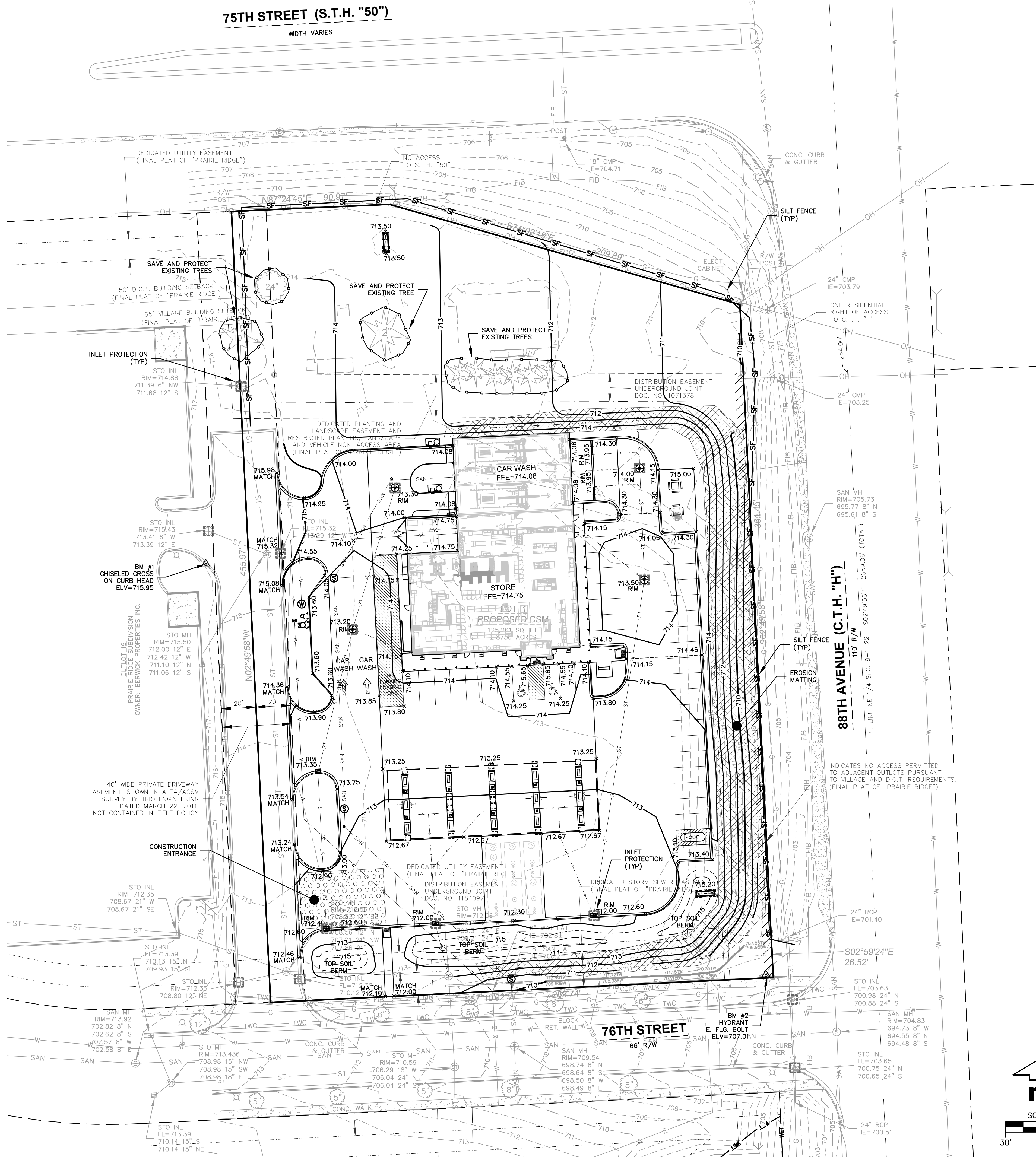
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SITE LAYOUT AND PAVEMENT ID PLAN
CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH
 C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: JSK/RWI
 SCALE: 1" = 30'
 JSD PROJ. NO.: 14-6612A
 DATE: 02-15-2015
 SHEET: 2 OF 22 SP1.0



CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONTRACTOR WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10'-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
16. SEE SHEET SP4 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- x WATER VALVE
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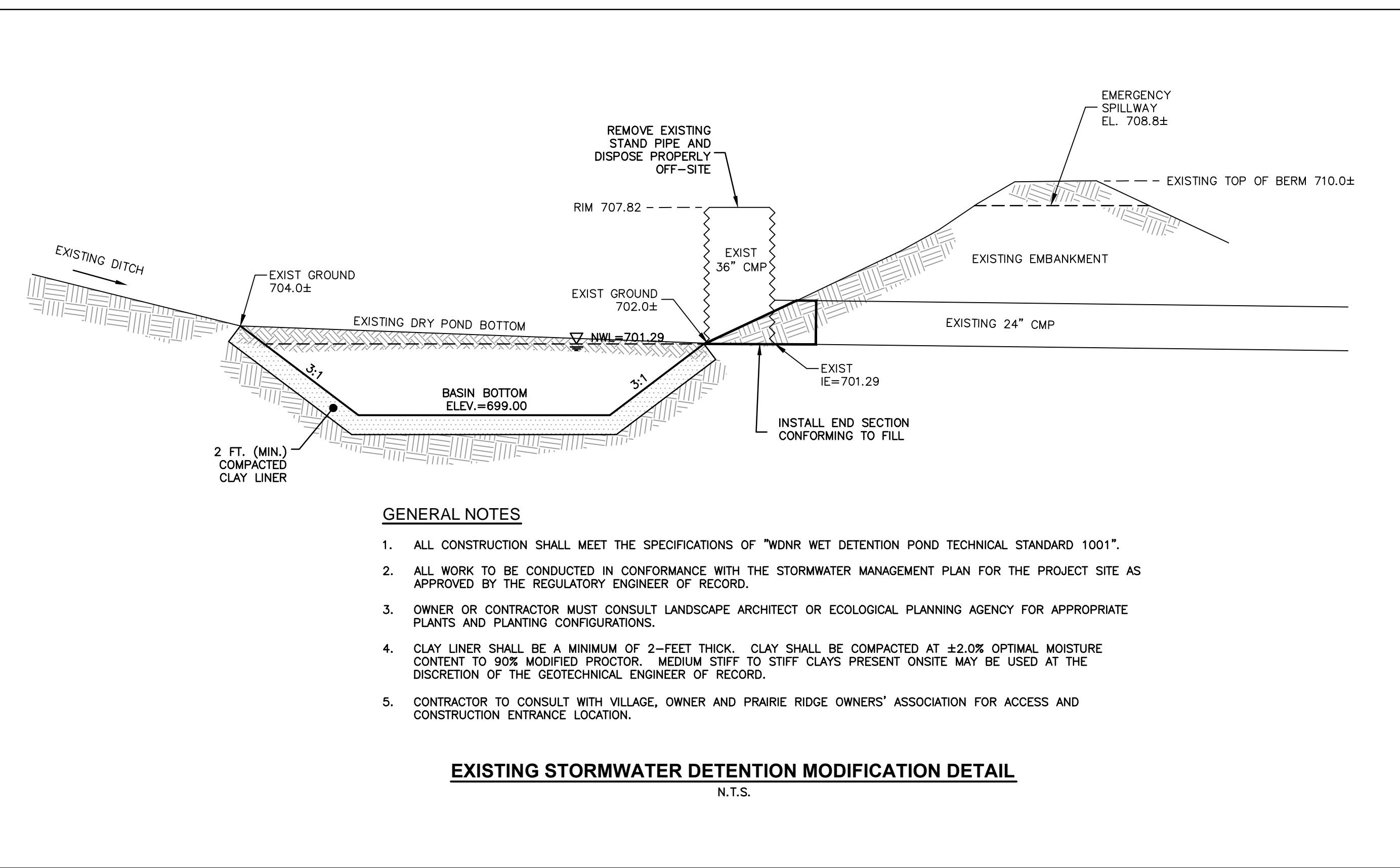
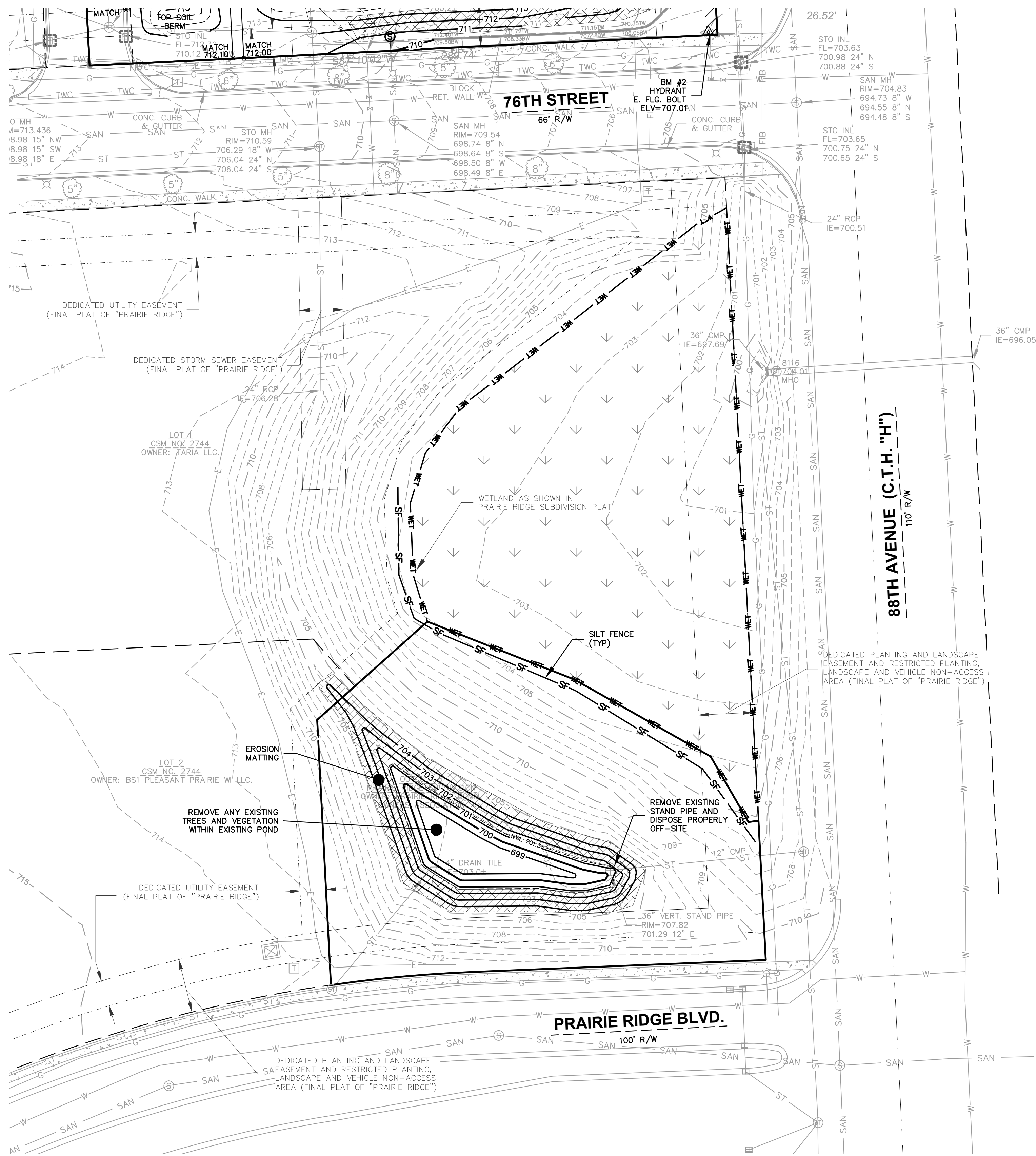
GRADING AND EROSION CONTROL PLAN

CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH

C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY JSK/RWI
 SCALE 1" = 30'
 JSD PROJ. NO. 14-6612A
 DATE 02-15-2015
 SHEET 4 OF 22 SP3.0



- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION POND TECHNICAL STANDARD 1001".
 2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORMWATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
 3. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
 4. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT ONSITE MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
 5. CONTRACTOR TO CONSULT WITH VILLAGE, OWNER AND PRAIRIE RIDGE OWNERS' ASSOCIATION FOR ACCESS AND CONSTRUCTION ENTRANCE LOCATION.

EXISTING STORMWATER DETENTION MODIFICATION DETAIL
N.T.S.

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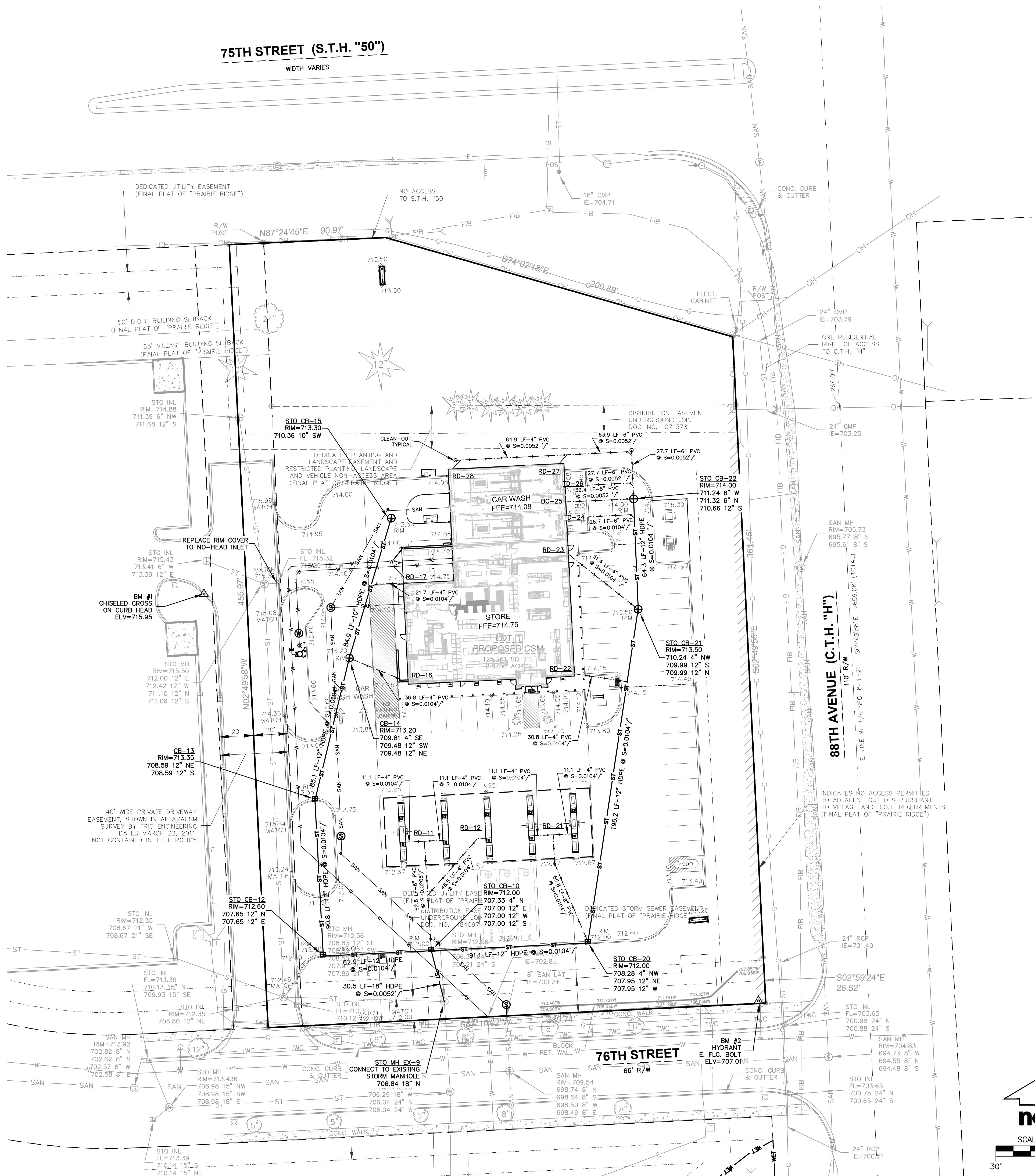
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GRADING AND EROSION CONTROL
PLAN - OFFSITE IMPROVEMENTS
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH
C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

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UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
- TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND VILLAGE OF PLEASANT PRAIRIE REQUIREMENTS.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- CATCH BASINS CB-10, CB-11 AND CB-21 SHALL BE TRAPPED CATCH BASINS WITH AN ELBOW FITTING ON THE OUTLET PIPE TO PREVENT DISCHARGE OF OIL/GAS SHEEN. OWNER SHALL REGULARLY MONITOR CATCH BASINS FOR EVIDENCE OF PETROLEUM AND/OR DEBRIS. OWNER SHALL BE RESPONSIBLE FOR CLEANING OF CATCH BASINS.
- STORM SEWER SPECIFICATIONS-
PIPE-HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC)-CLASS PS46 MEETING AASHTO M278, AS NOTED.
INLETS/CATCH BASINS-INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2501 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN.
BACKFILL AND BEDDING-STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS-MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
FIELD TILE CONNECTION-ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
PIPE-WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS.
VALVES AND VALVE BOXES-GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS OR DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN A RISER BOX WITH "WATER" ON THE COVER.
HYDRANTS-HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
BEDDING AND COVER MATERIAL-PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS, OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL-BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
PIPE-SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034. PIPE SHALL BE INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL-BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL-BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES-MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE.
MANHOLE FRAMES AND COVERS-MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1580 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
SAMPLING MANHOLES-SAMPLING MANHOLE SHALL MEET THE STANDARDS OF A TYPICAL MINIMUM 48-INCH DIAMETER SANITARY MANHOLE, WITH ECCENTRIC CONE AS SPECIFIED IN CHAPTER 405 OF THE MUNICIPAL CODE WITH A PRIMARY FLOW MEASURING DEVICE INSTALLED.
FRAME AND GRATE SHALL BE NEENAH R-1580 WITH TYPE "B" NON-ROCKING FRAME AND COVER. MANHOLE CASTING SHALL HAVE AN EXTERNAL CHIMNEY SEAL.
PRIMARY FLOW MEASURING DEVICE SHALL BE A PALMER-BOWLUS FLUME WITH INTEGRAL APPROACH SECTION. FLUME SIZE SHALL BE BASED UPON LATERAL PIPE SIZE AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND TOLERANCES.
NO HORIZONTAL ALIGNMENT CHANGES SHALL BE ALLOWED AT THE SAMPLING MANHOLE.
THE SAMPLING MANHOLE SHALL BE LOCATED TO ALLOW EASY ACCESS FOR UTILITY CREWS.
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TY.)
- TRACER WIRE SHALL BE EXTENDED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE INSTALLED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- ALL NEW ON-SITE SANITARY, STORM, AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE ENGINEERING DEPARTMENT (262-948-8951) 48-HOURS IN ADVANCE OF SANITARY, WATER, AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

KWIK TRIP STORES

KWIK STAR STORES

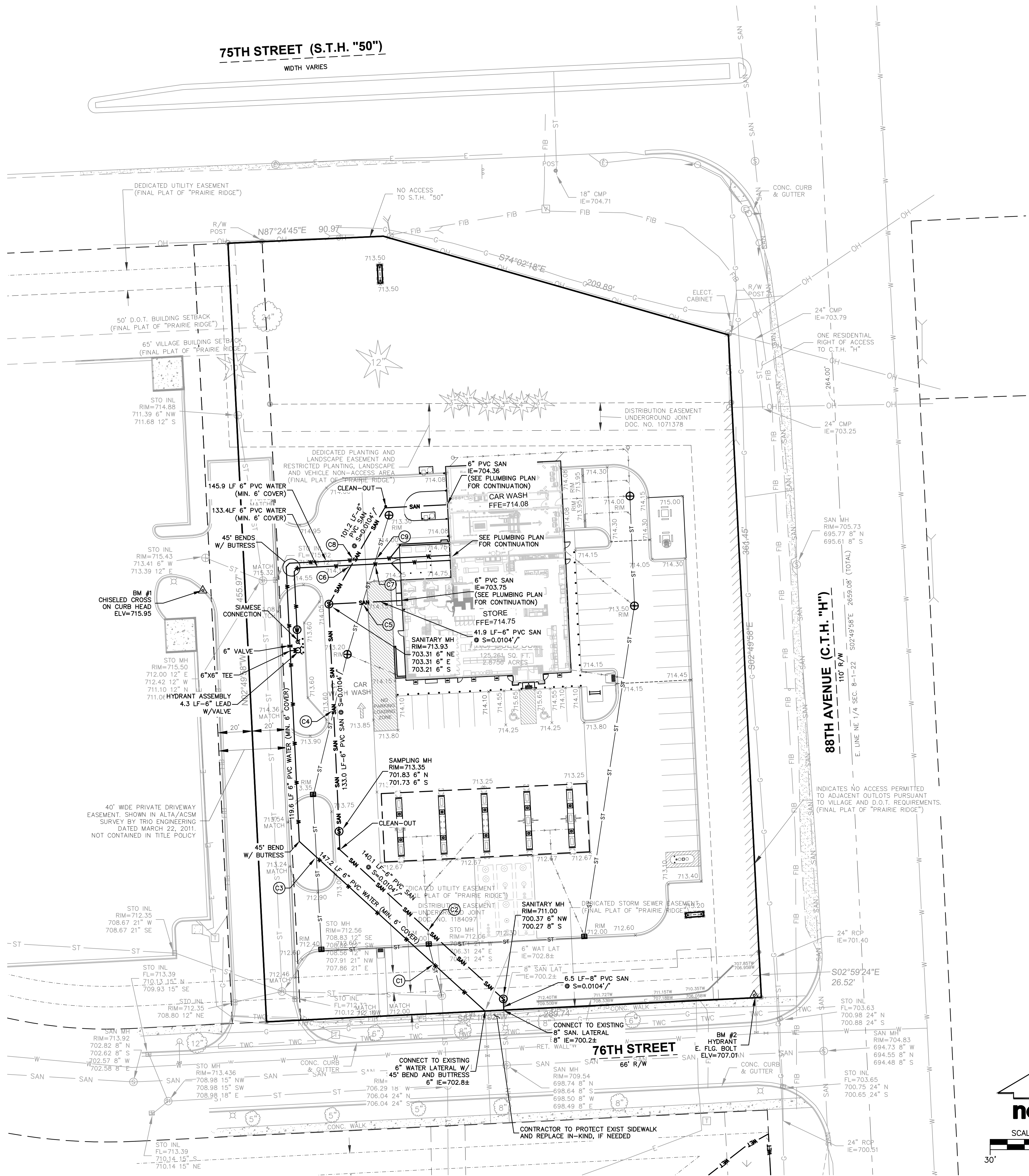
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UTILITY PLAN
STORM SEWER
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH
 C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

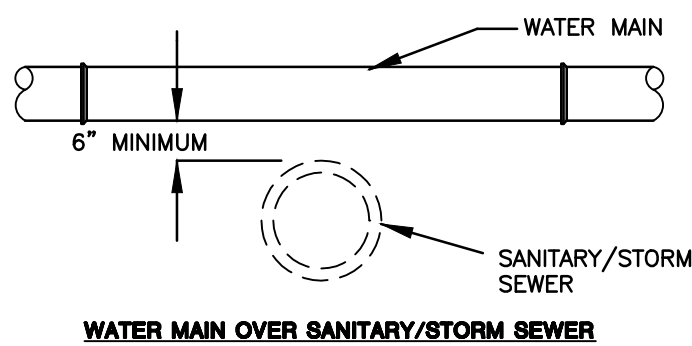
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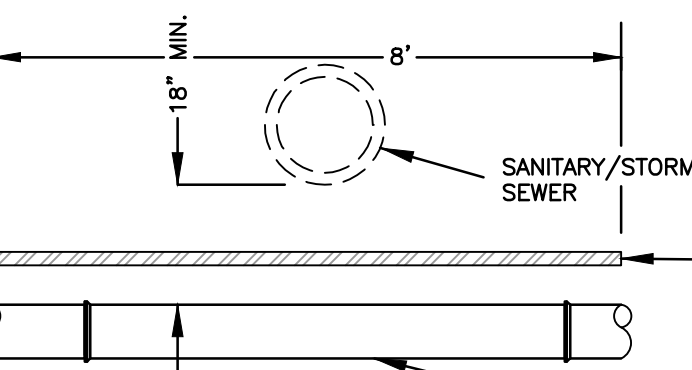


UTILITY CROSSINGS

- Ⓒ1 18" STO IE=706.93
6" WAT IE=704.5±
- Ⓒ2 4" STO IE=707.51
6" SAN IE=700.99
- Ⓒ3 12" STO IE=708.22
6" WAT IE=706.5±
- Ⓒ4 12" STO IE=709.47
6" SAN IE=702.56
- Ⓒ5 12" STO IE=709.81
6" SAN IE=703.52
- Ⓒ6 6" WAT IE=707.0±
6" SAN IE=703.58
- Ⓒ7 12" STO IE=710.05
6" WAT IE=707.0±
- Ⓒ8 6" WAT IE=707.0±
12" SAN IE=703.62
- Ⓒ9 12" STO IE=710.08
6" WAT IE=707.0±

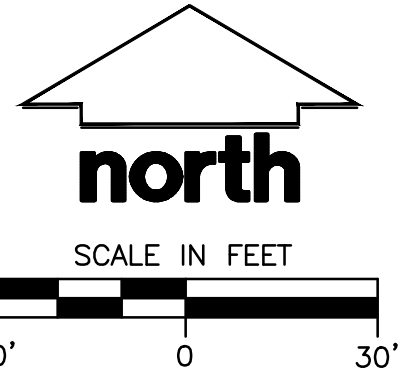


NOTE:
AT CROSSING, ONE FULL 18 FOOT LENGTH OF WATER MAIN SHALL BE CENTERED ON THE SEWER. MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 8 FEET.



4"x8"x2" POLYSTYRENE BOARD INSULATION IF SEPARATION IS LESS THAN 3" AND DEPTH OF BURY TO TOP OF SEWER IS LESS THAN 6".

SEWER - WATER MAIN SEPARATION
N.T.S.



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STORES

KWIK STAR

STORES

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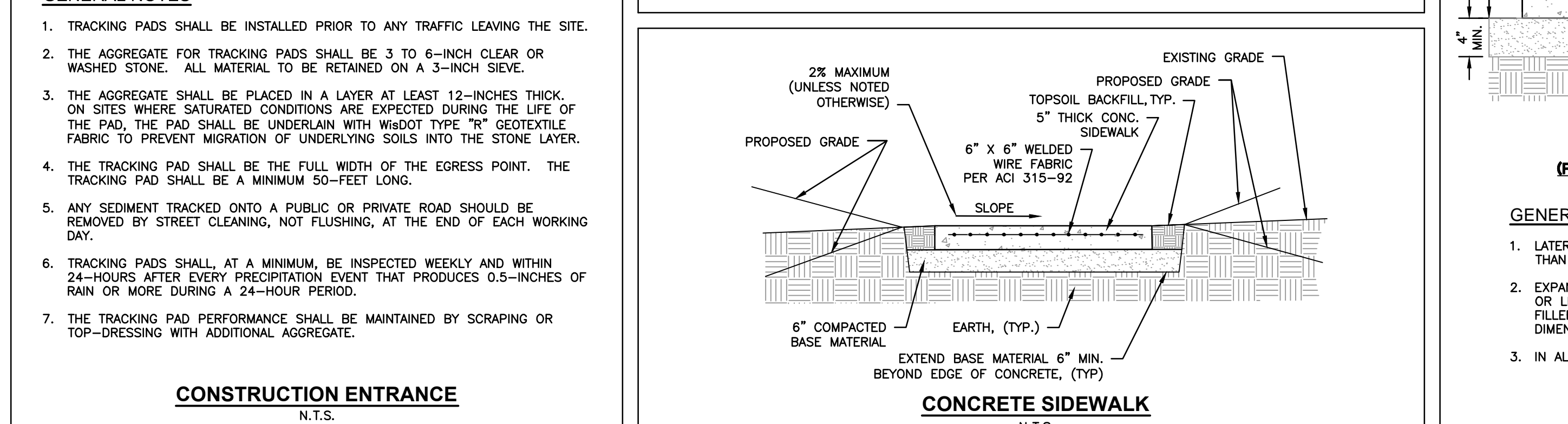
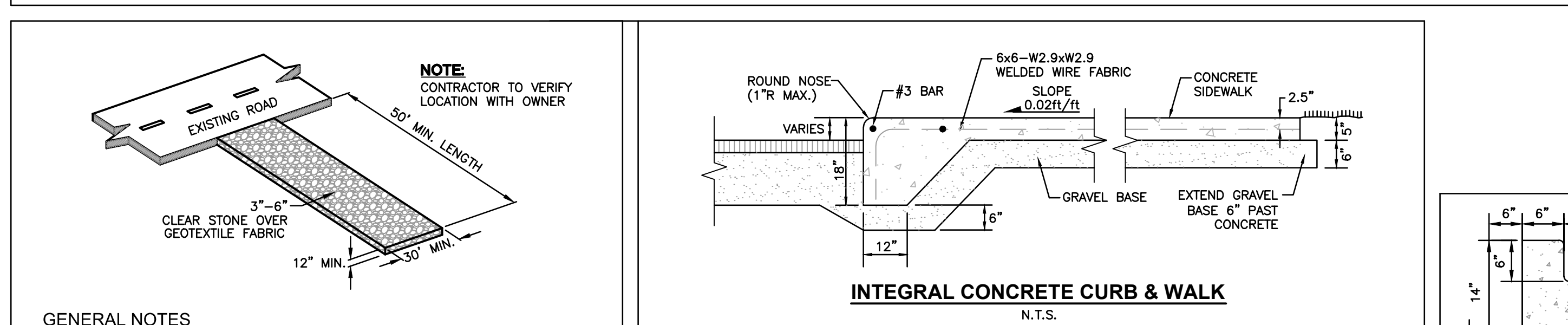
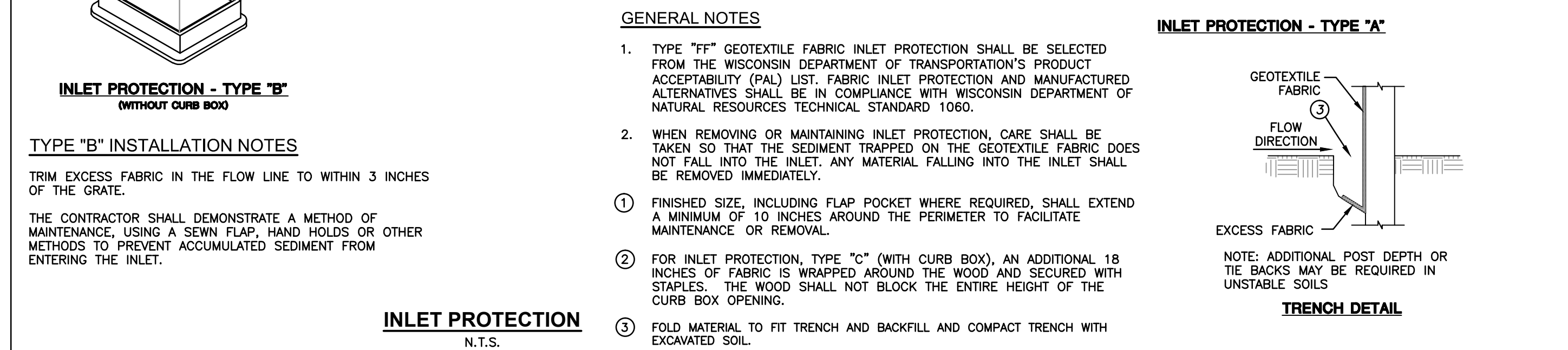
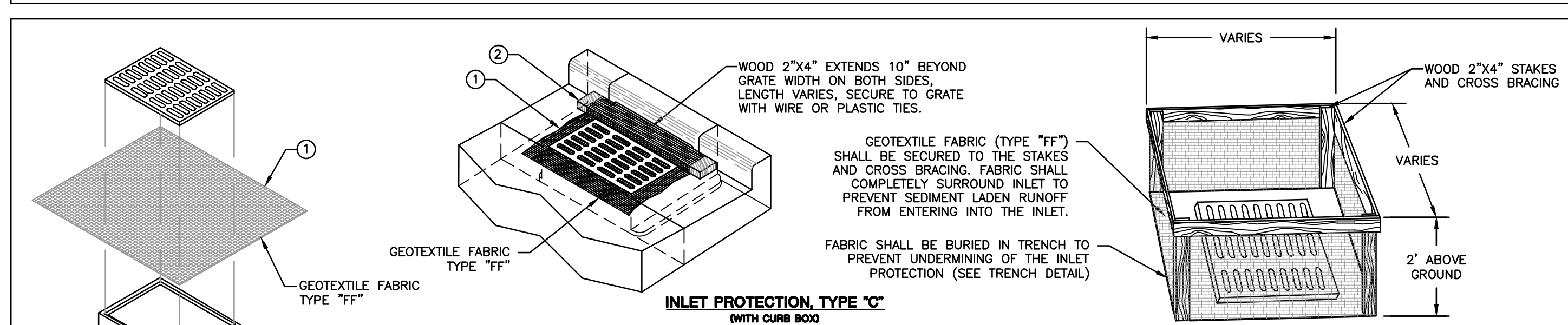
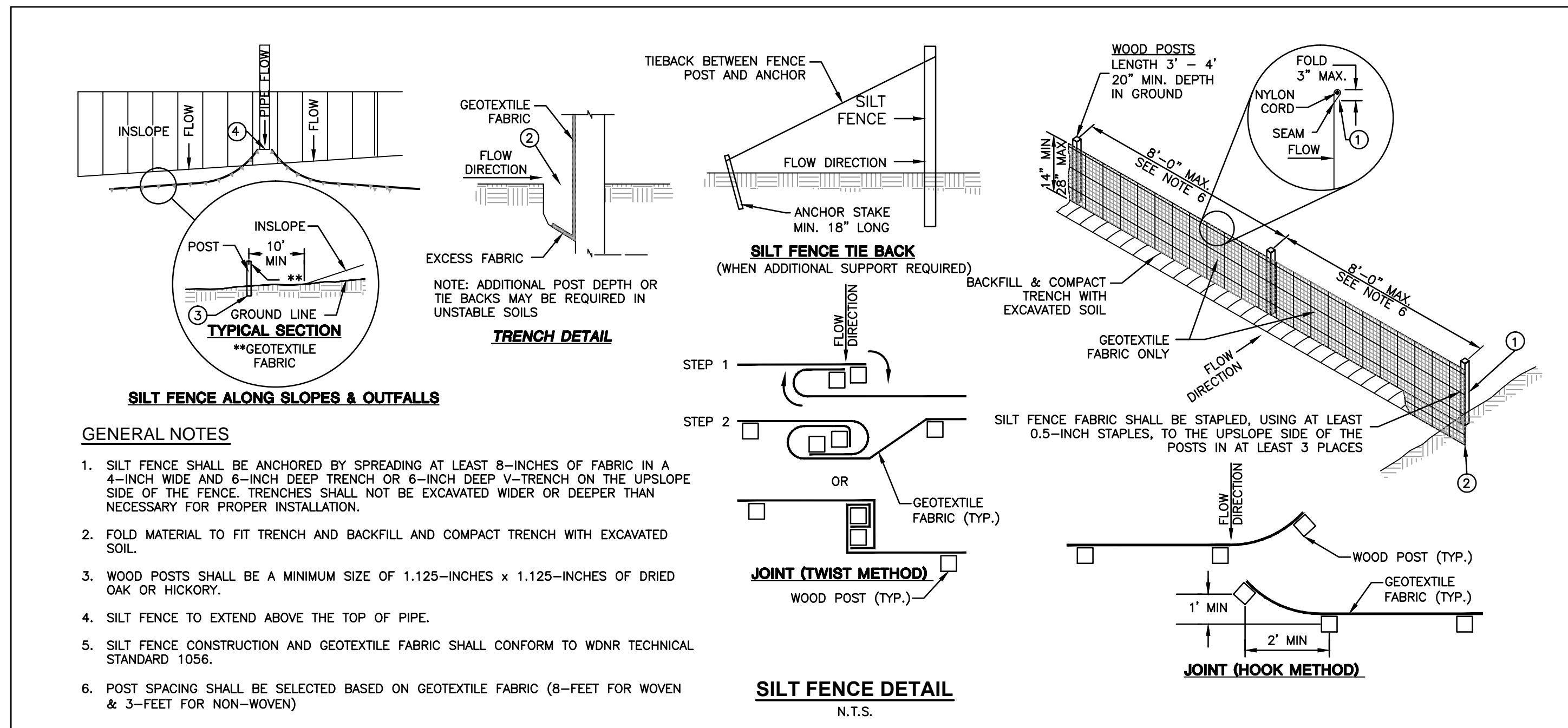
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UTILITY PLAN
SANITARY SEWER AND WATER SERVICES
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH
C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

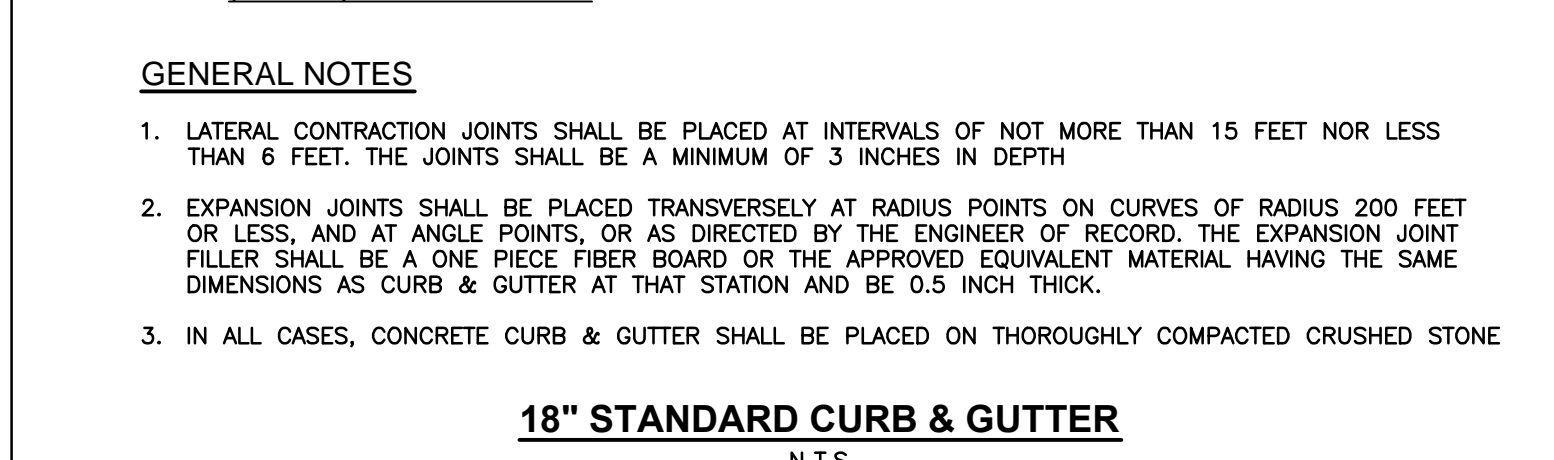
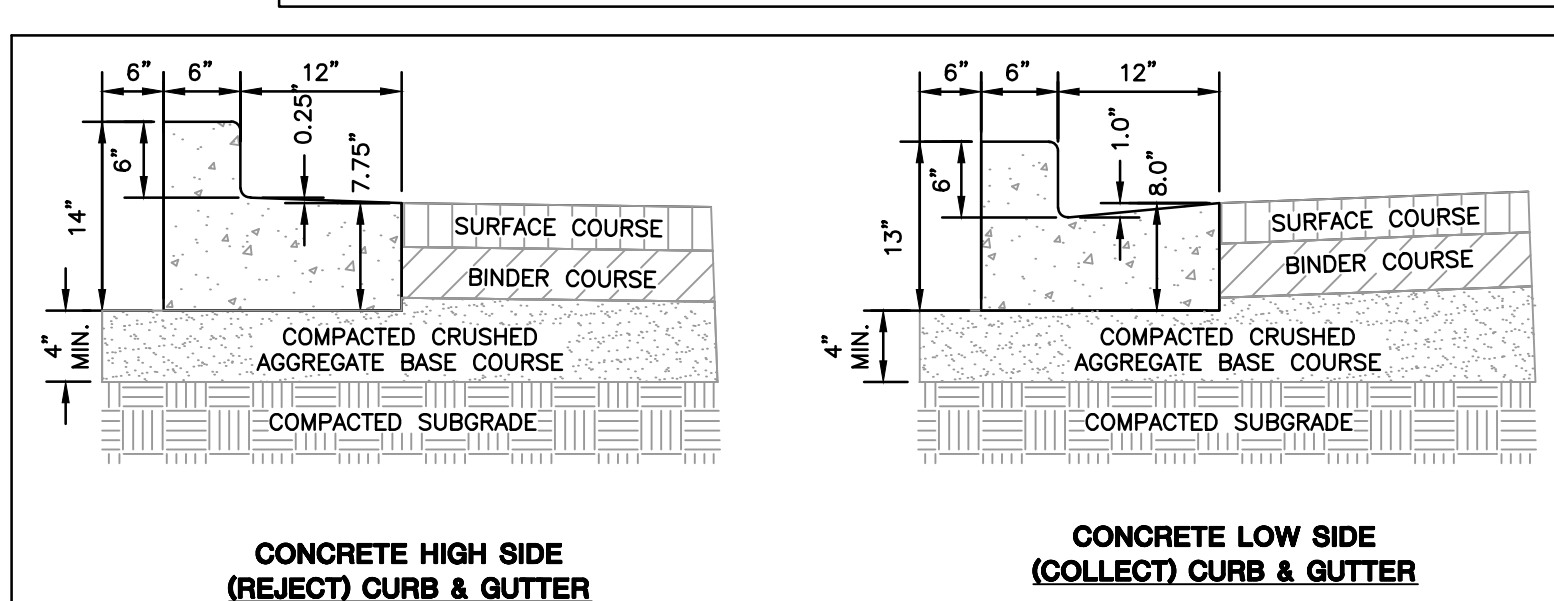
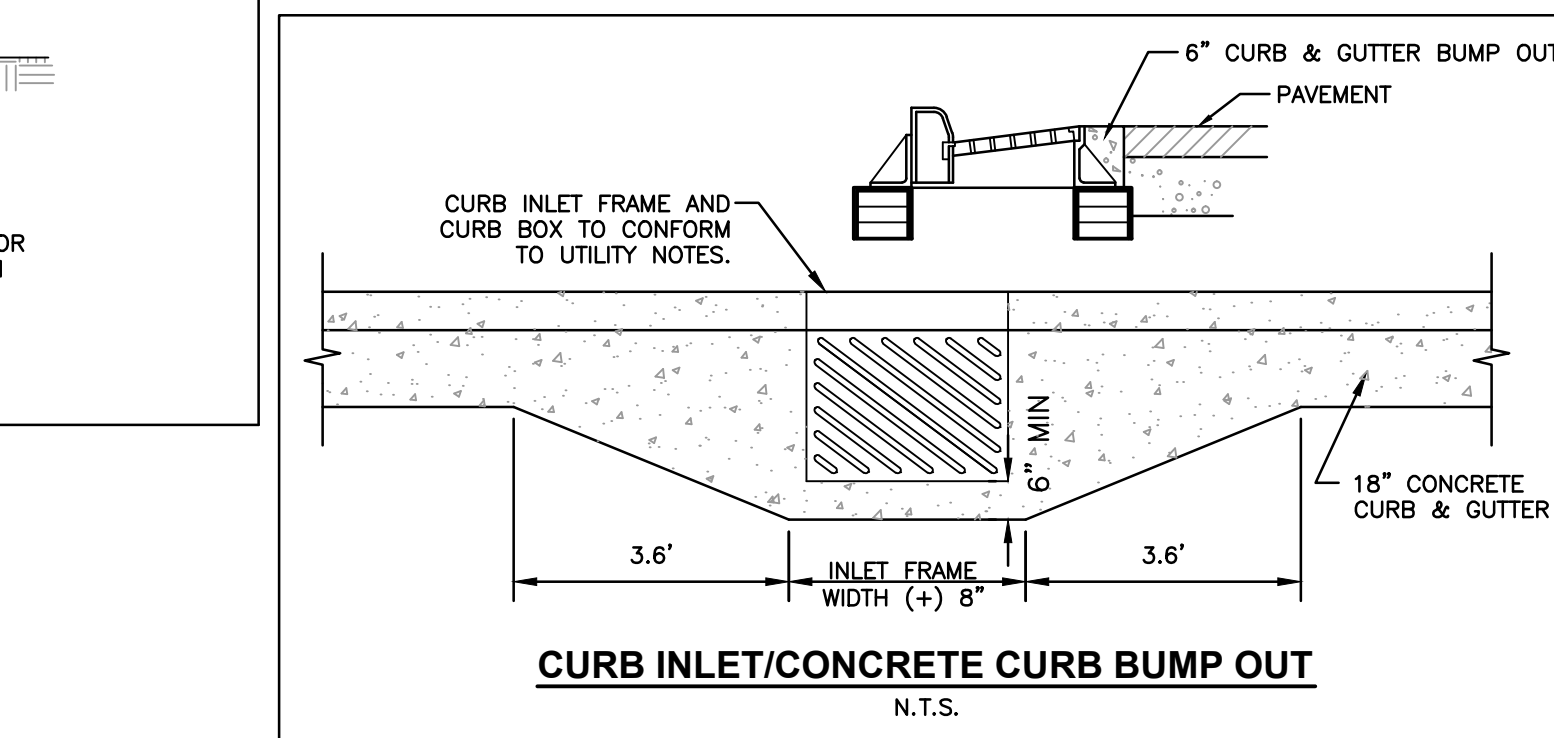
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GENERAL NOTES AND SPECIFICATIONS

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.



EROSION AND SEDIMENT CONTROL NOTES:

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGES OF PLEASANT PRAIRIE ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY JSD/MUNICIPALITY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YET LESS THAN 2:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF. AS REQUIRED, EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4, (g-f), OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
 - SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
 - CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
 - EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
 - DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
 - INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

- CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
- DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
 - PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PADS.
- STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.



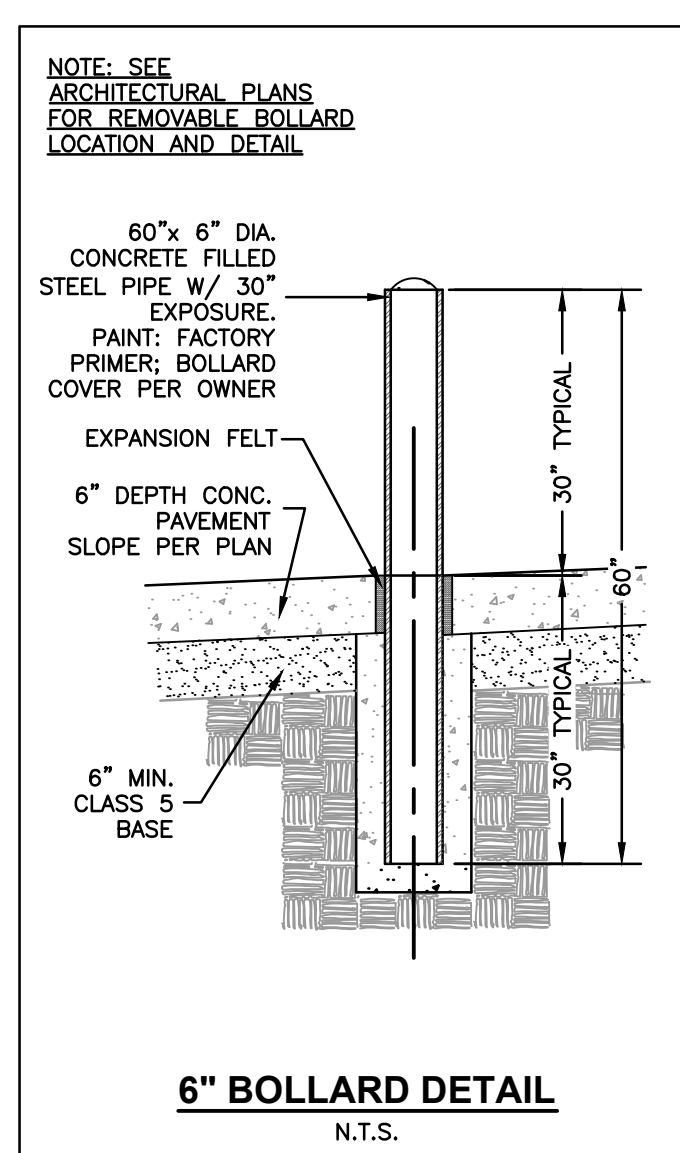
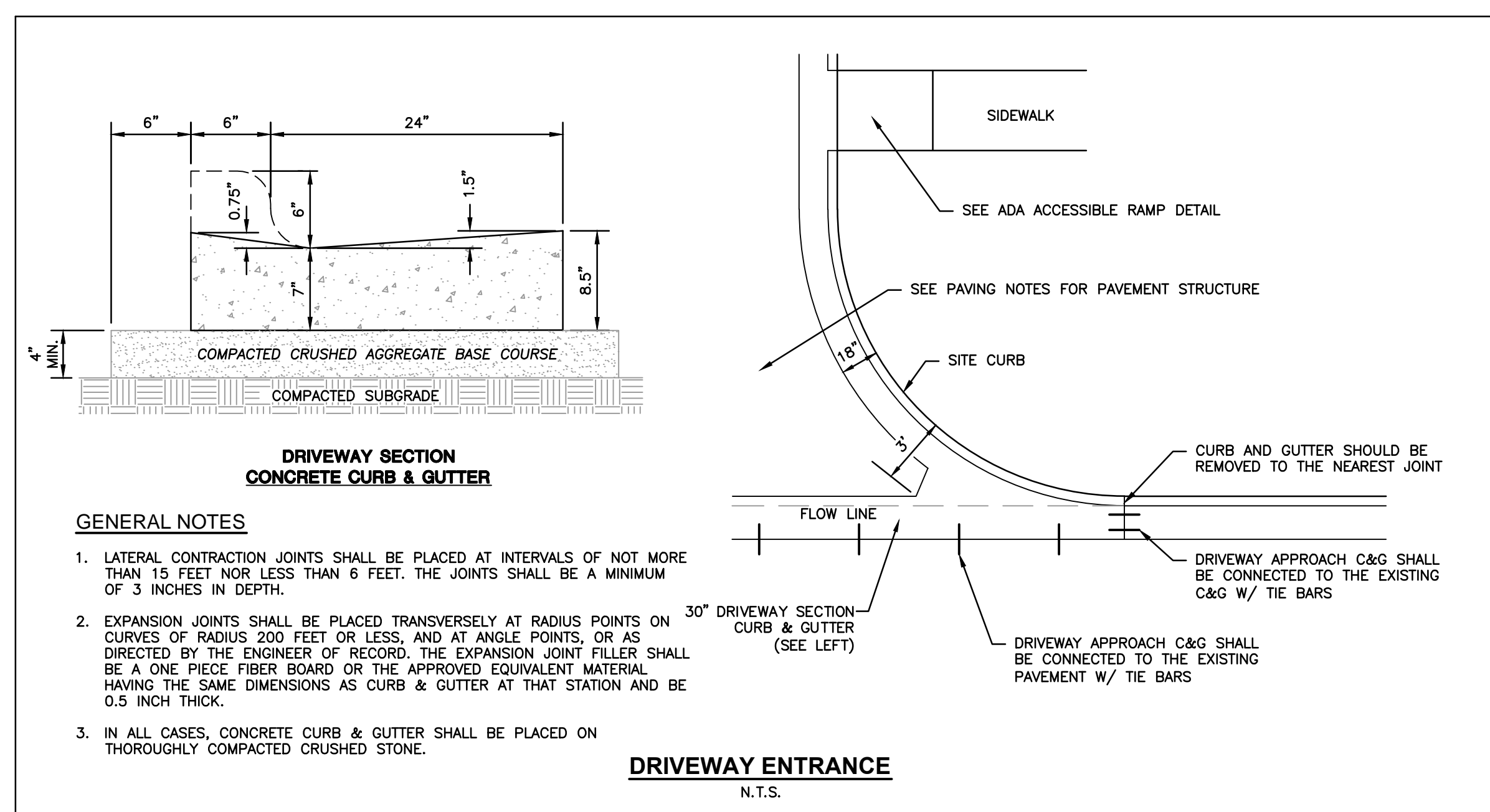
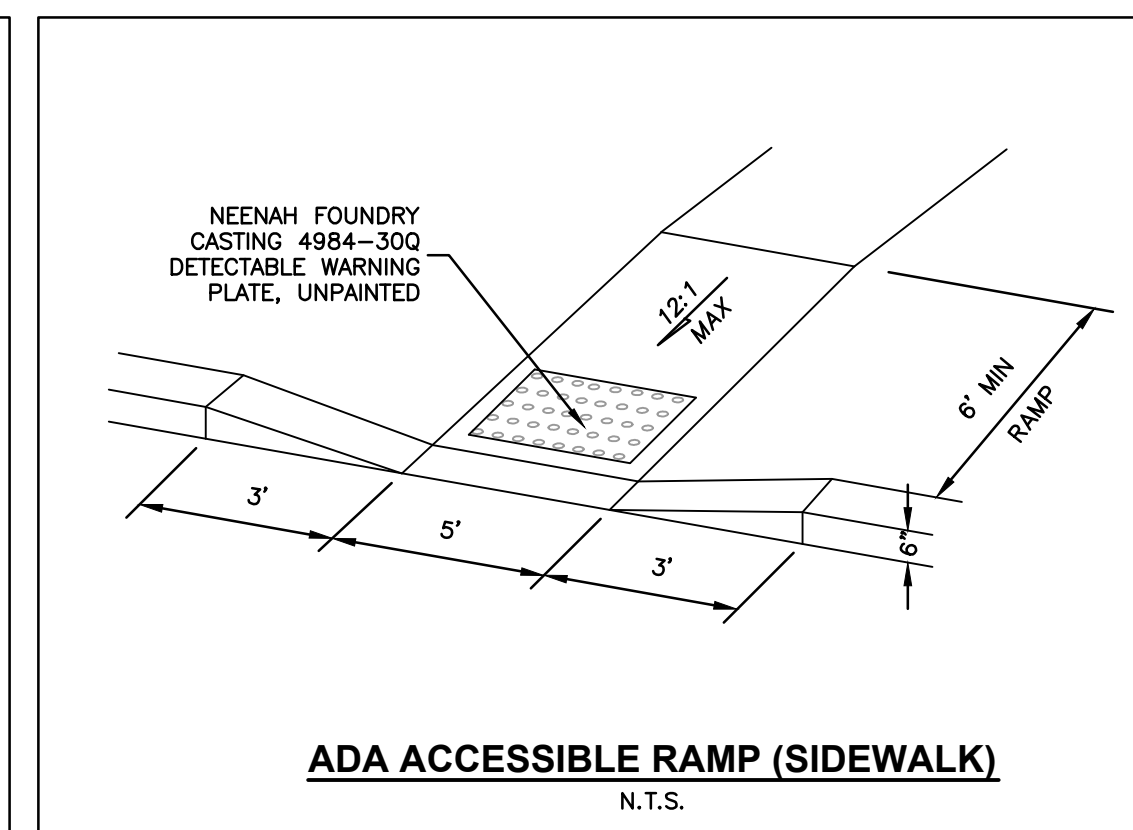
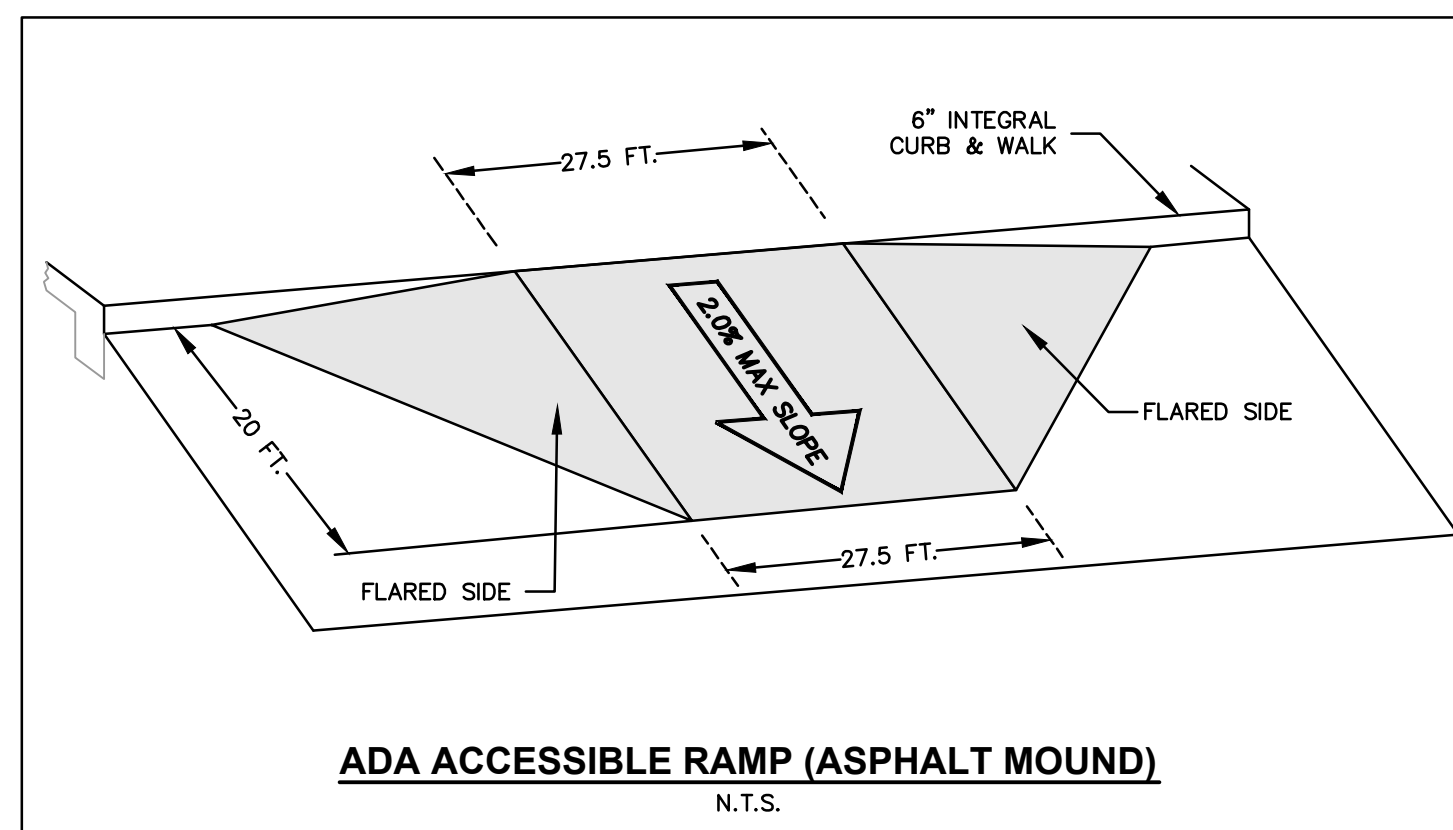
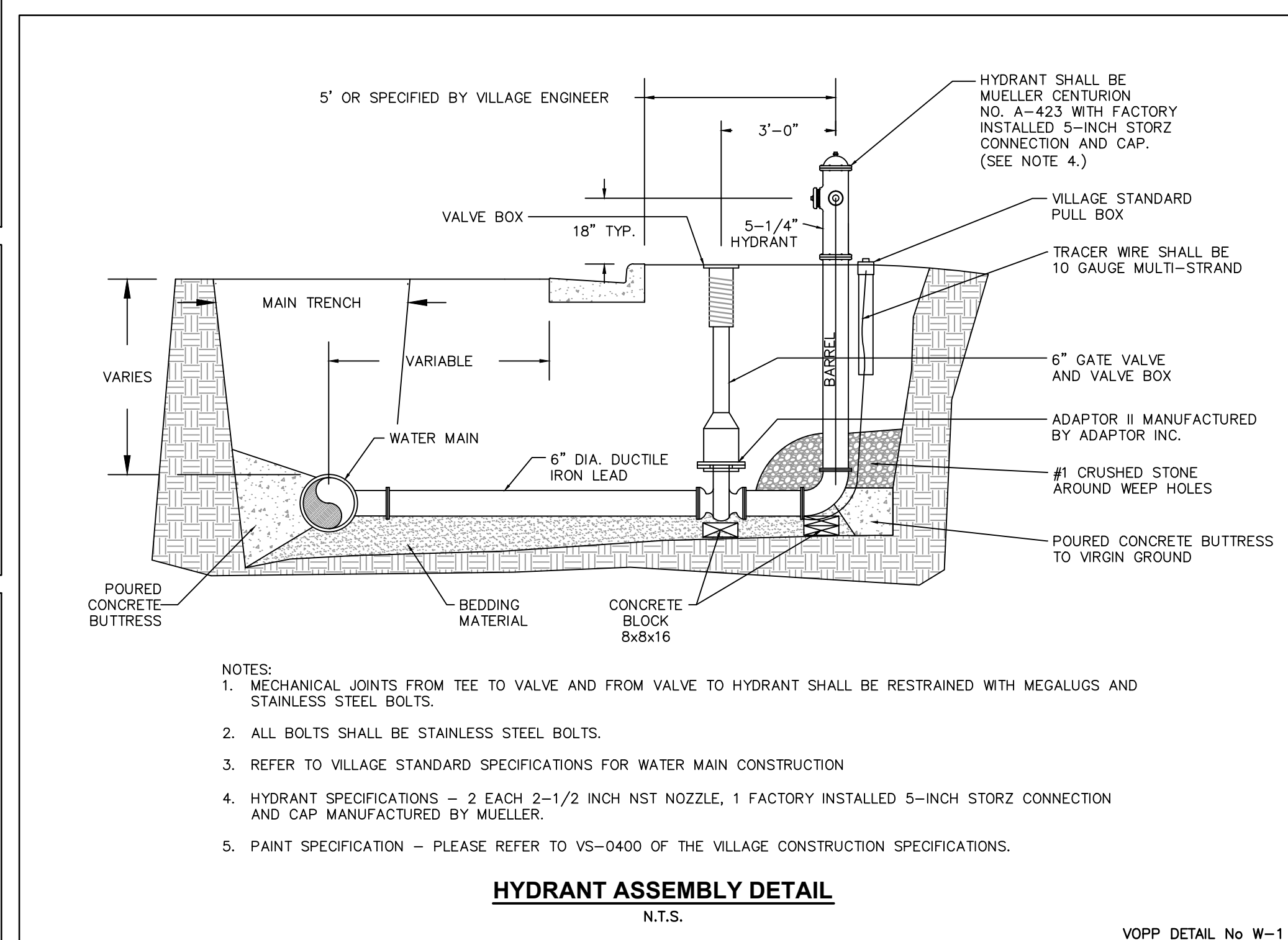
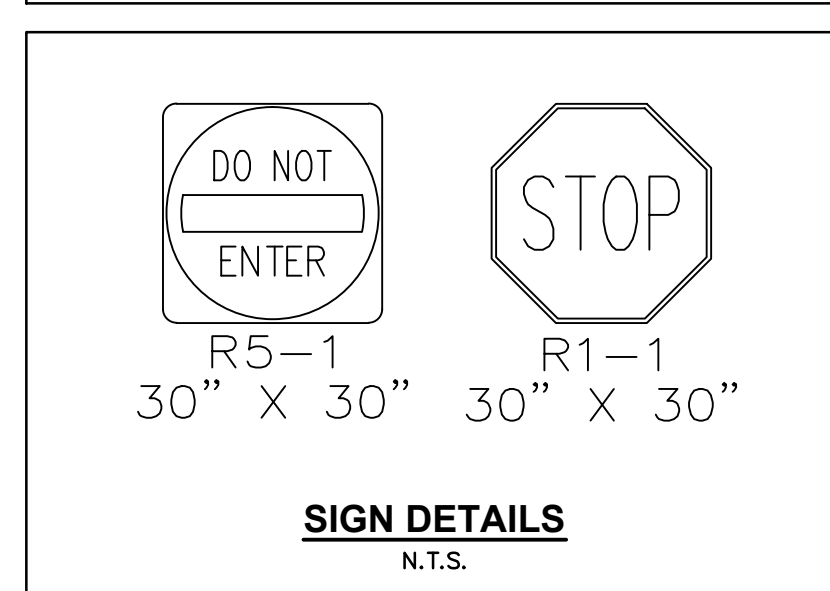
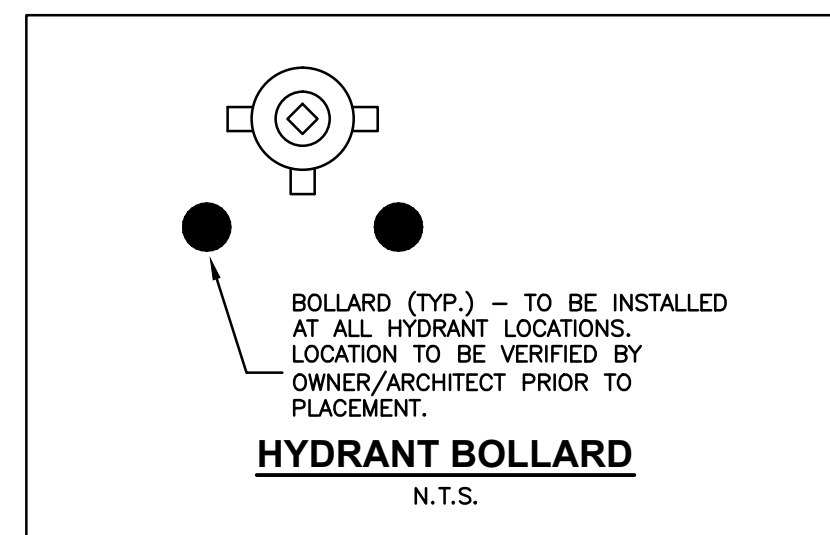
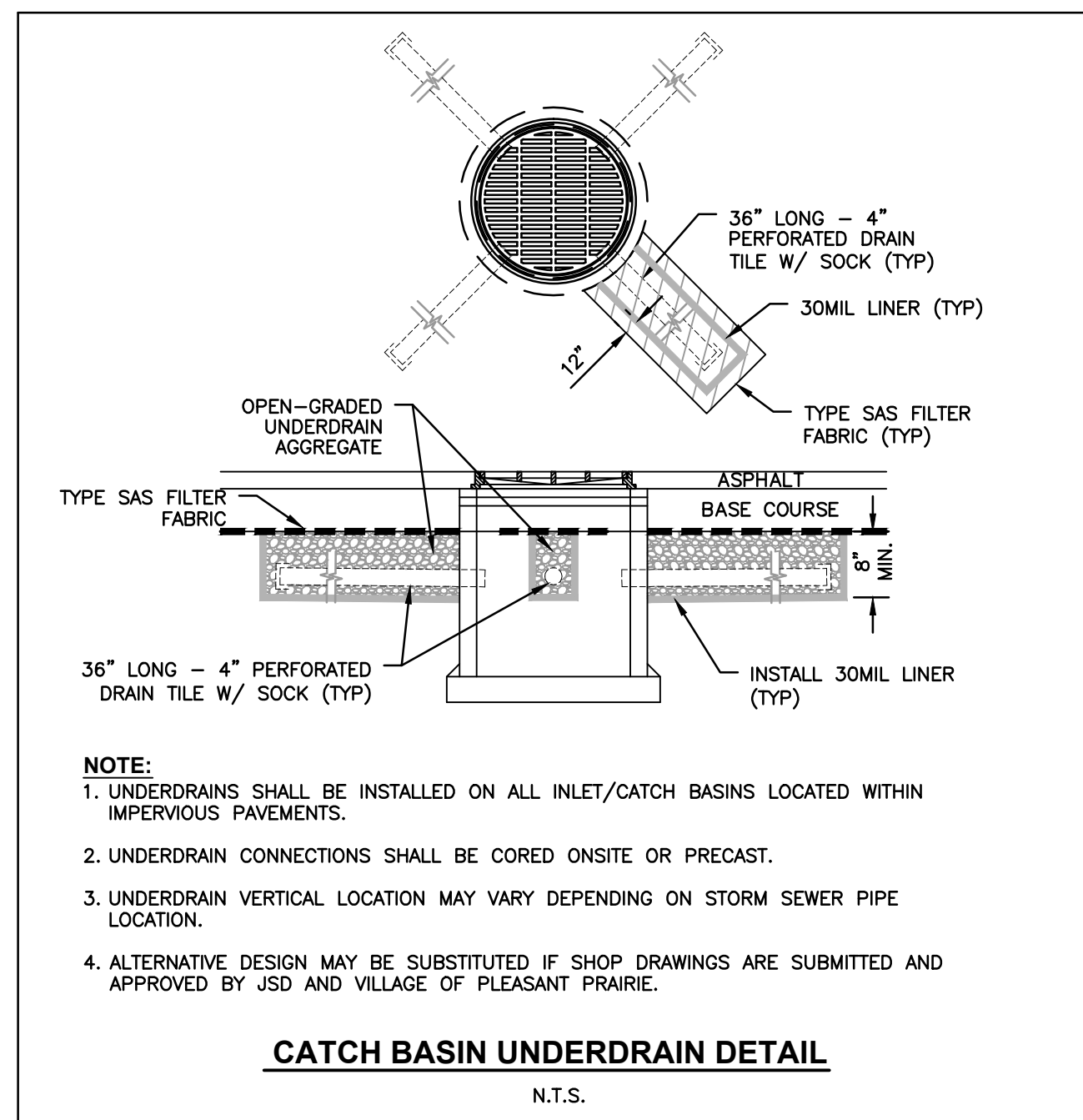
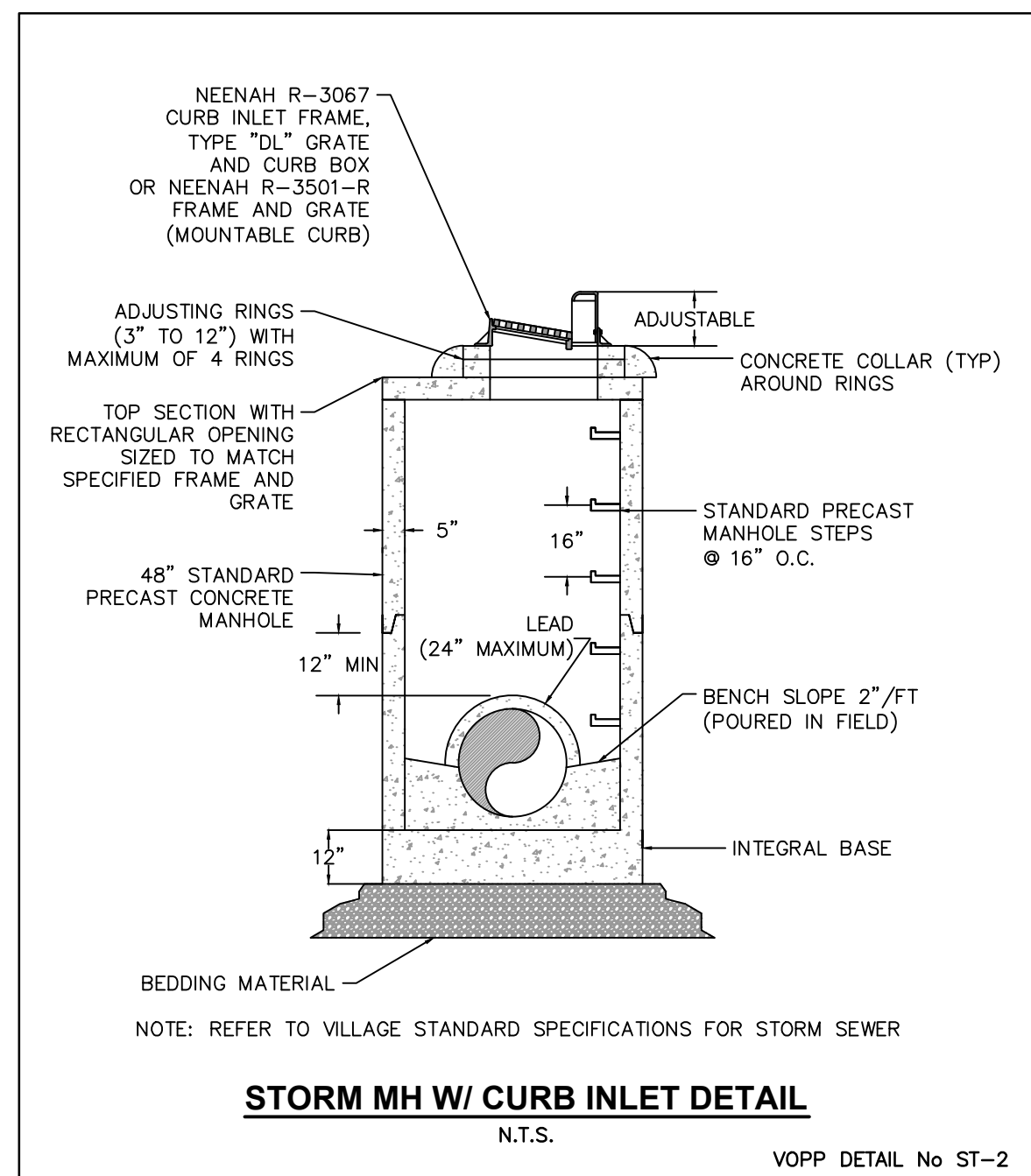
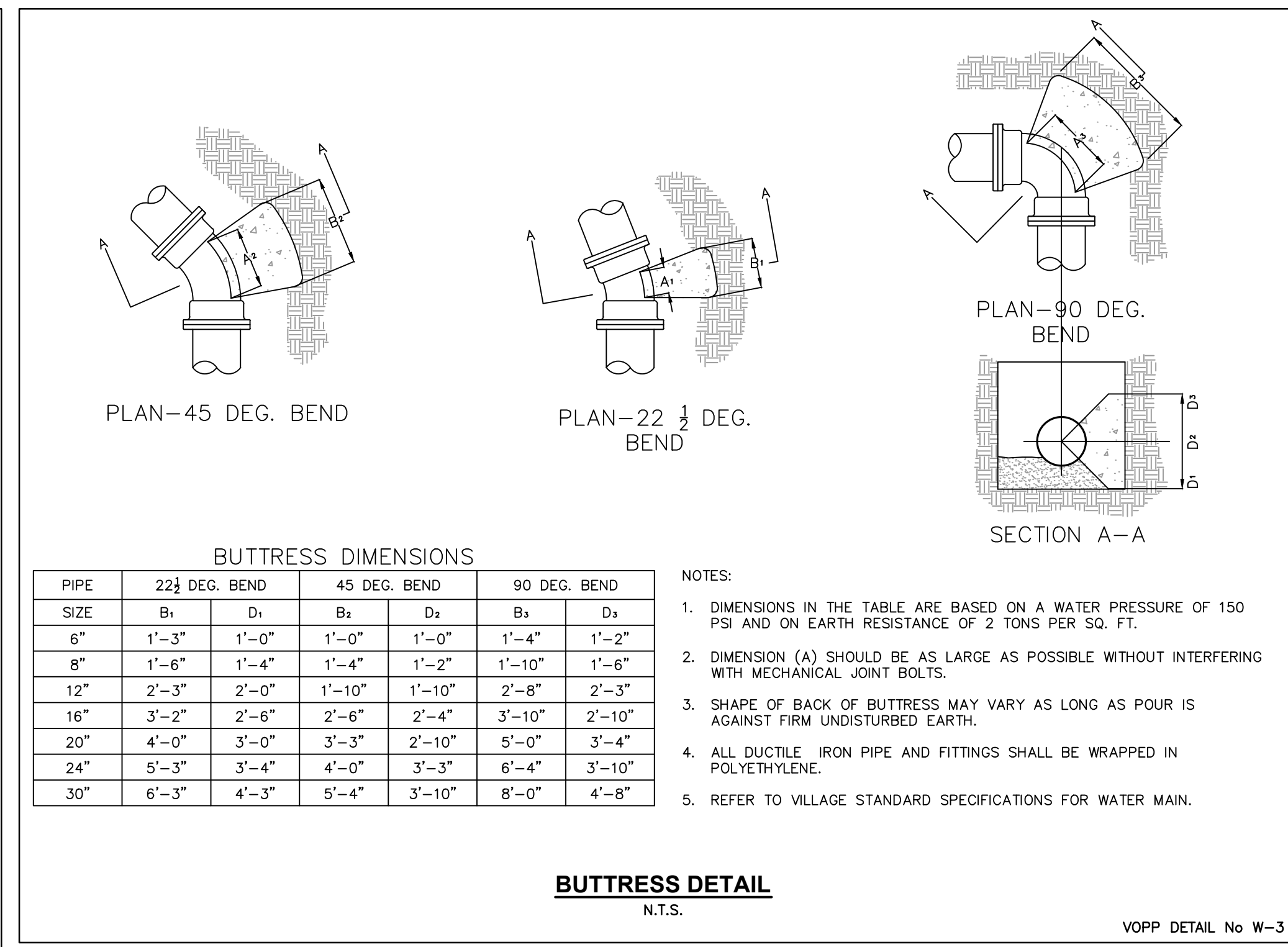
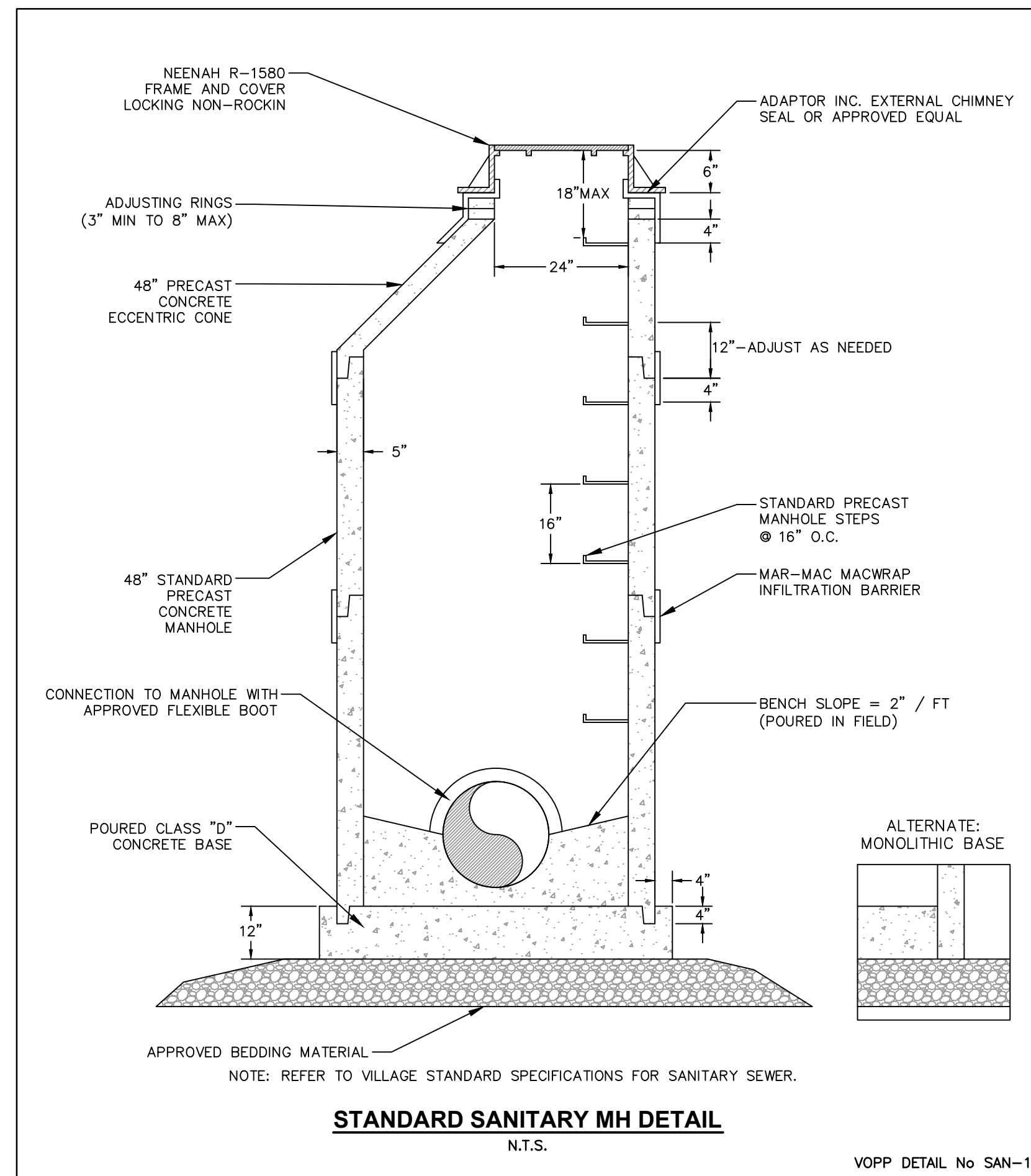
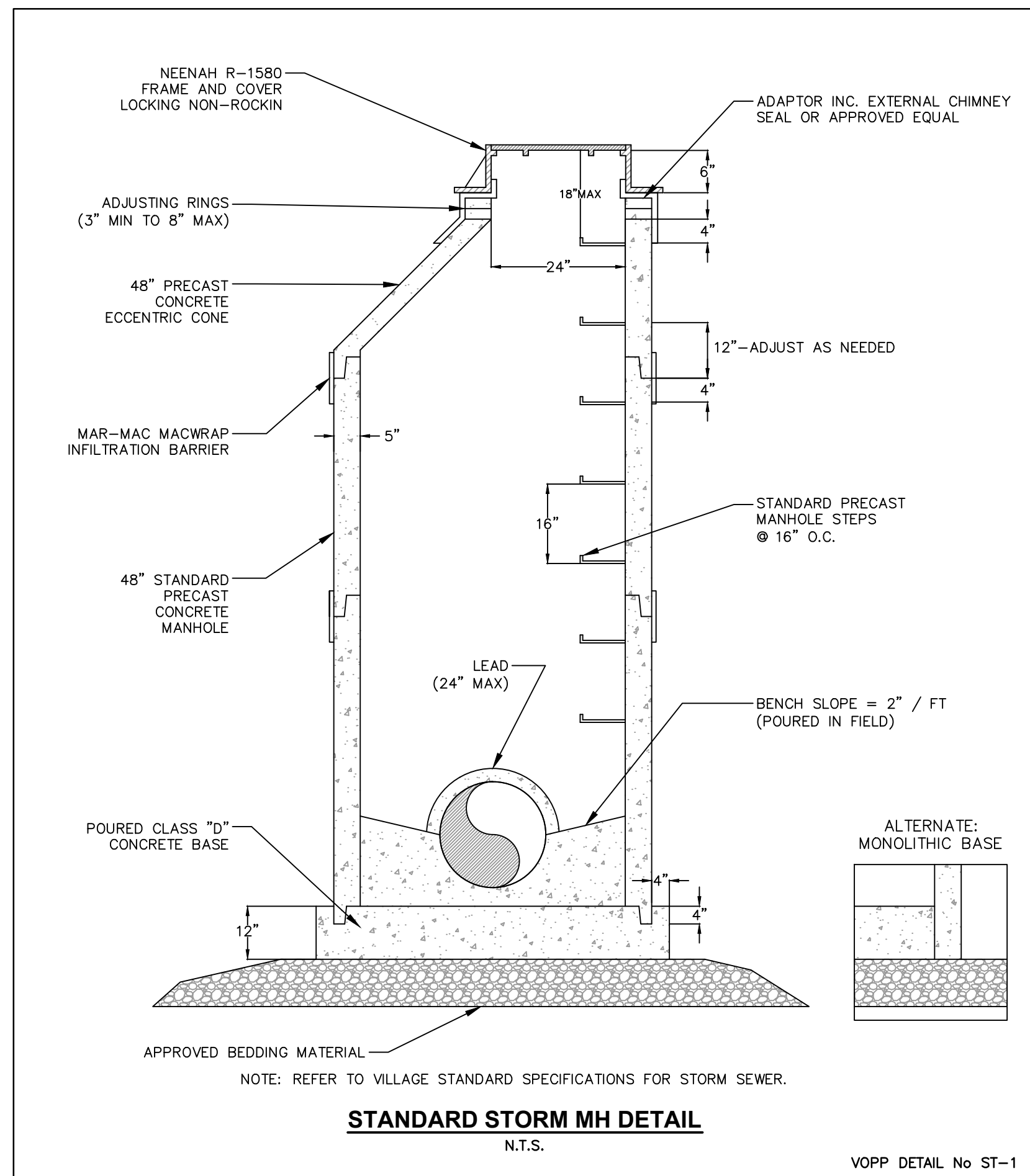
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LA CROSSE, WI 54602-2107
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FAX (608) 781-8960



NOTES & DETAILS
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH
C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY JSK/RWI
SCALE 1" = 30'
JSD PROJ. NO. 14-6612A
DATE 02-15-2015
SHEET 8 OF 22 SP5.0



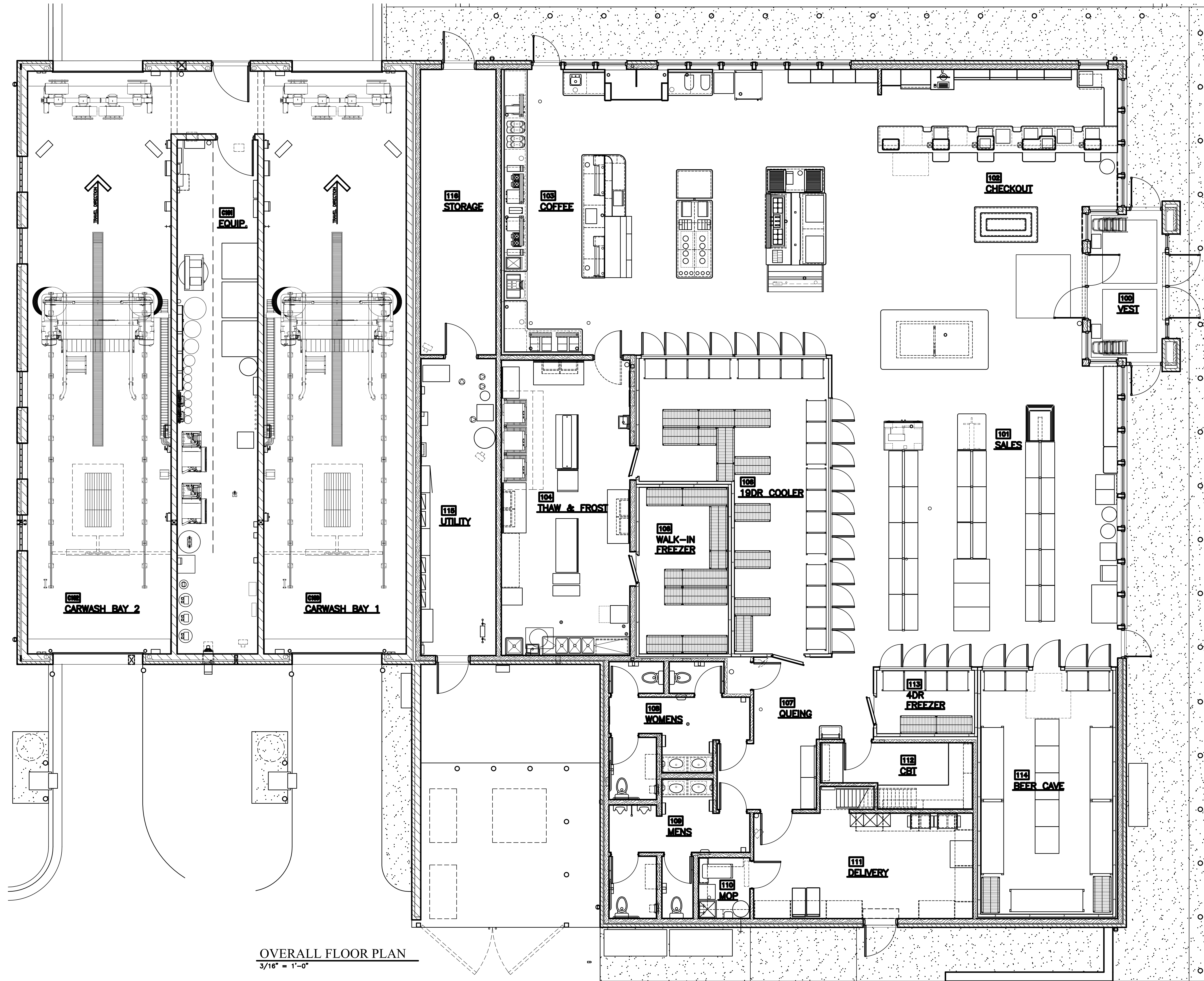
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JSD Professional Services, Inc.
 Engineers • Surveyors • Planners
 MILWAUKEE REGIONAL OFFICE
 1422 W22831 NANCY'S COURT SUITE 3
 WAUKESHA, WISCONSIN 53186
 262.513.0666 PHONE | 262.513.1232 FAX
 MADISON | MILWAUKEE | KENOSHA | APPLETON

NOTES & DETAILS
 CONVENIENCE STORE #172
 WITH DOUBLE BAY CARWASH
 C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: JSK/RWI
 SCALE: 1" = 30"
 JSD PROJ. NO.: 14-6612A
 DATE: 02-15-2015
 SHEET: 9 OF 22 SP5.1



OVERALL FLOOR PLAN
3/16" = 1'-0"

AWIK TRIP STORES
AWIK STAR STORES

STORE #172
50 & H
VILLAGE PLEASANT PRAIRIE, WI
96' x 79' RH
STORE W/ 2-BAY CW

Revised: .
Issued for: PRELIM MEETING
Date: JAN 12, 15
Checked: bgf
Drawn:



LARSON ARCHITECT
200 Mason Street #3
Onalaska, WI 54650
(608) 784 - 6808
info@larsonarchitect.com



ASPHALT ROOFING | WHITE FASCIA | RED FASCIA | ASPHALT ROOFING | TAN STUCCO | **FRONT ELEVATION**
1/4" = 1'-0"

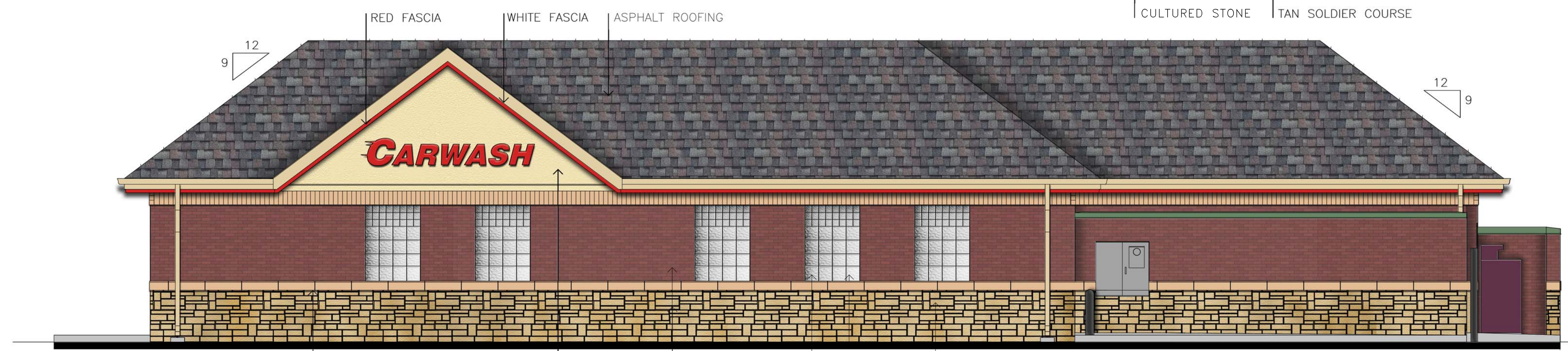


CULTURED STONE | TAN SOLDIER COURSE | ASPHALT ROOFING | **LEFT ELEVATION**
3/16" = 1'-0"



ASPHALT ROOFING | CULTURED STONE | TAN SOLDIER COURSE | **RIGHT ELEVATION**
3/16" = 1'-0"

CUSTOM RH WI
COMBO



RED FASCIA | WHITE FASCIA | ASPHALT ROOFING | CULTURED STONE | TAN SOLDIER COURSE | **BACK ELEVATION**
3/16" = 1'-0"

A200B



FRONT ELEVATION
3/16" = 1'-0"

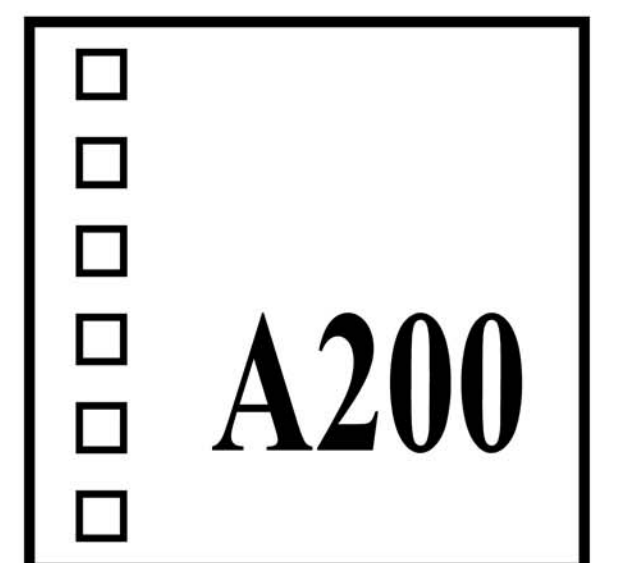


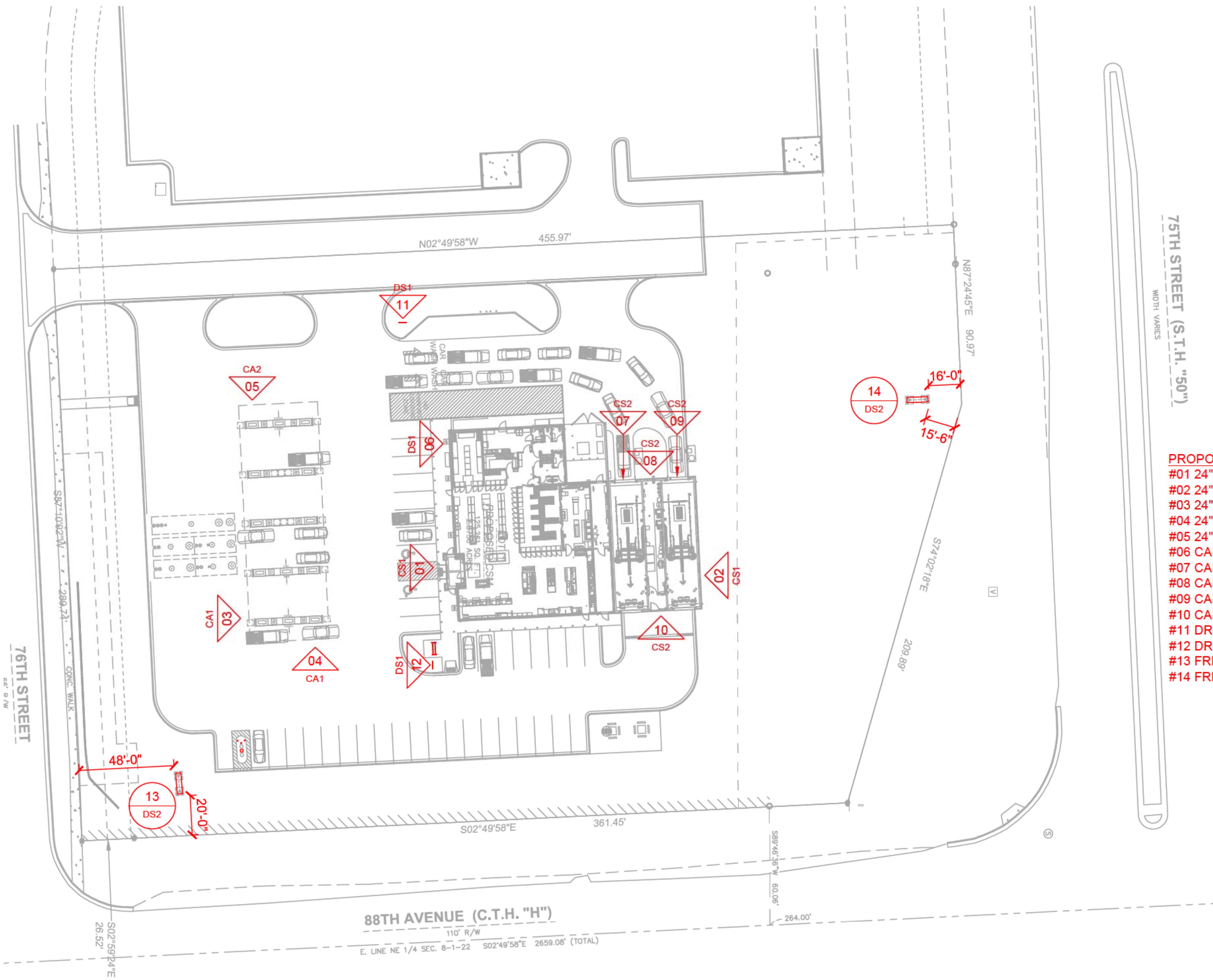
SIDE ELEVATION
3/16" = 1'-0"



Hip Canopy
w/ Brick

10 MPD

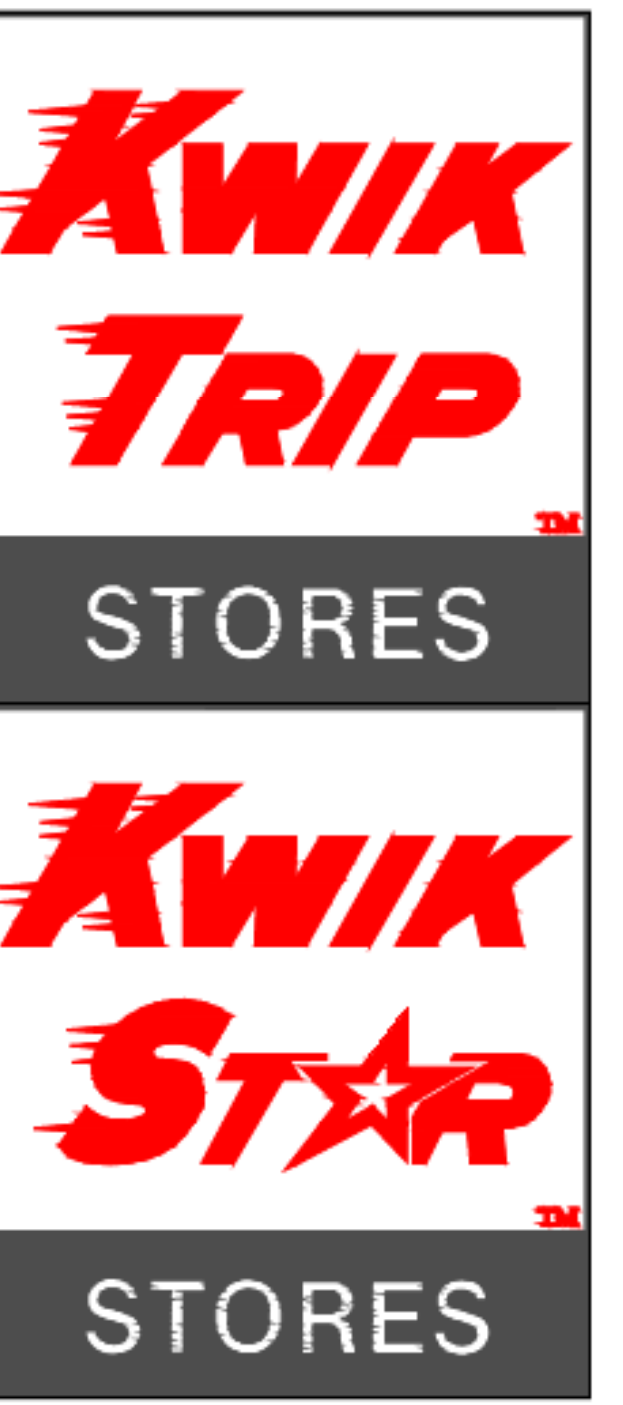




SITE PLAN
1" = 50'-0"

75TH STREET (S.T.H. "50")
WIDTH VARIES

- PROPOSED SIGNS:**
- #01 24" LED KWIK TRIP LETTERS
 - #02 24" LED KWIK TRIP LETTERS
 - #03 24" LED KWIK TRIP LETTERS
 - #04 24" LED KWIK TRIP LETTERS
 - #05 24" LED KWIK TRIP LETTERS
 - #06 CARWASH DIRECTIONAL SIGN
 - #07 CARWASH INFORMATIONAL SIGN
 - #08 CARWASH ENTER
 - #09 CARWASH INFORMATIONAL SIGN
 - #10 CARWASH EXIT
 - #11 DRIVEWAY DIRECTIONAL
 - #12 DRIVEWAY DIRECTIONAL
 - #13 FREESTANDING MONUMENT SIGN
 - #14 FREESTANDING MONUMENT SIGN



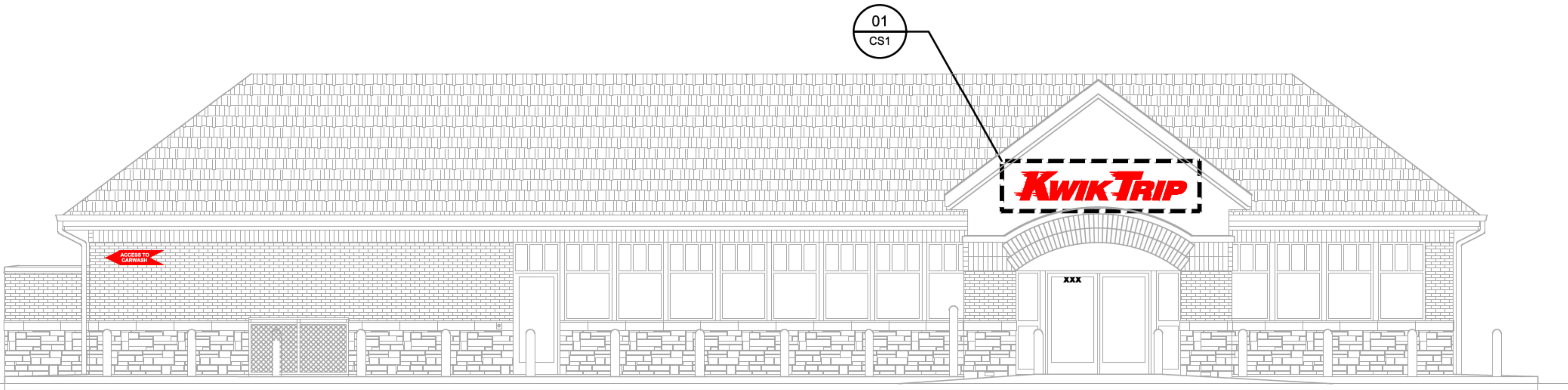
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SITE PLAN
CONVENIENCE STORE #172
WITH 2 BAY CARWASH
CTY HWY H AND 76TH STREET
PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY	B. BERG
SCALE	MULTIPLE
PROJ. NO.	0001
DATE	2015-02-18
SHEET	14 OF 22 SP1

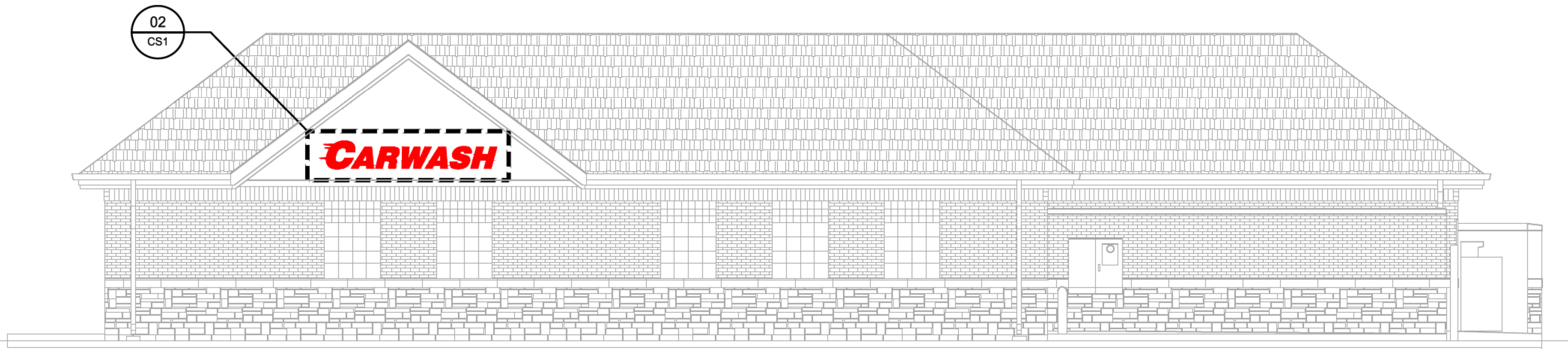




STORE ELEVATION

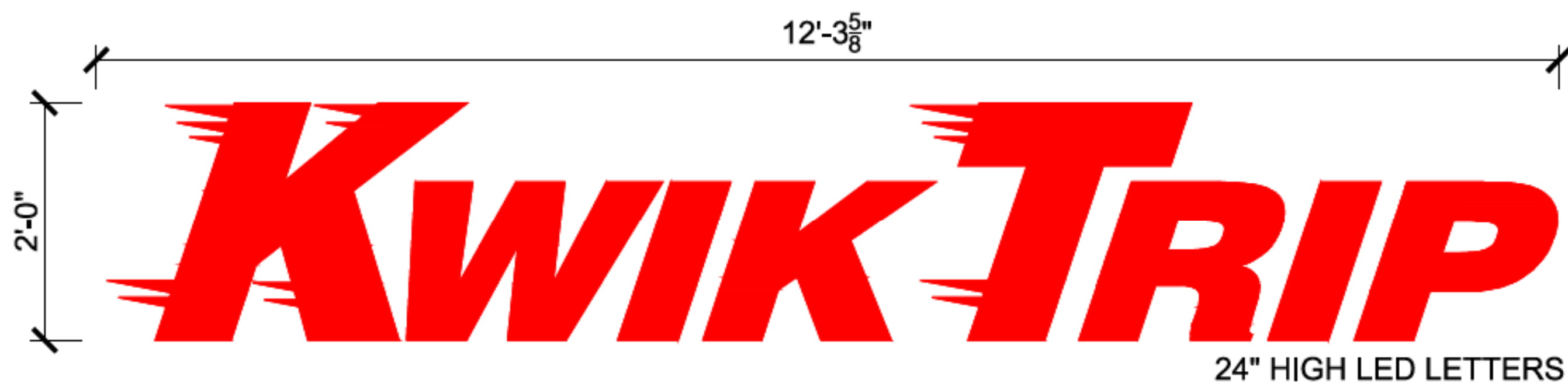
SCALE: 1/8" = 1'-0"

5" WHITE VINYL ADDRESS LETTERS
ON GLASS DOOR AS SHOWN ABOVE
(VERIFY ACTUAL NUMBERS)



STORE ELEVATION

SCALE: 1/8" = 1'-0"



LOGO DETAIL - SIGN #01

SCALE: 1/2" = 1'-0"

24" HIGH LED LETTERS



25.27 S.F.

LOGO DETAIL - SIGN #02

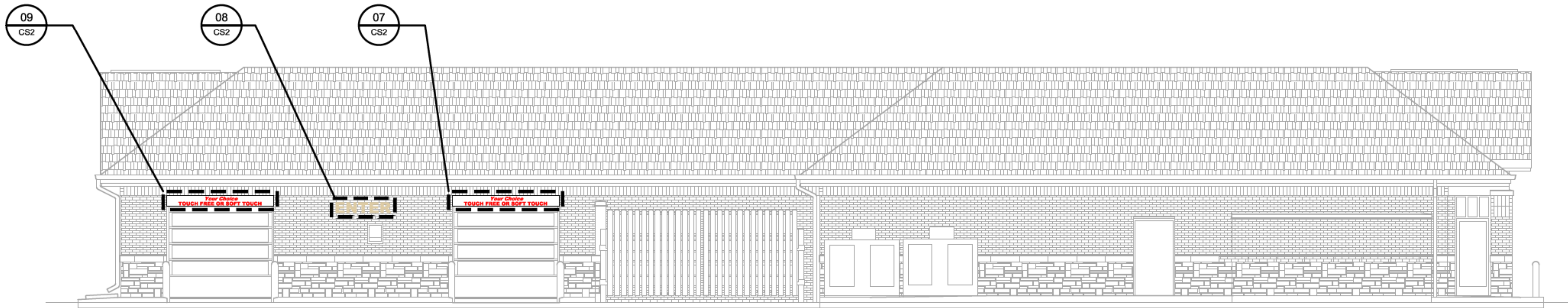
SCALE: 1/2" = 1'-0"

24" HIGH LED LETTERS



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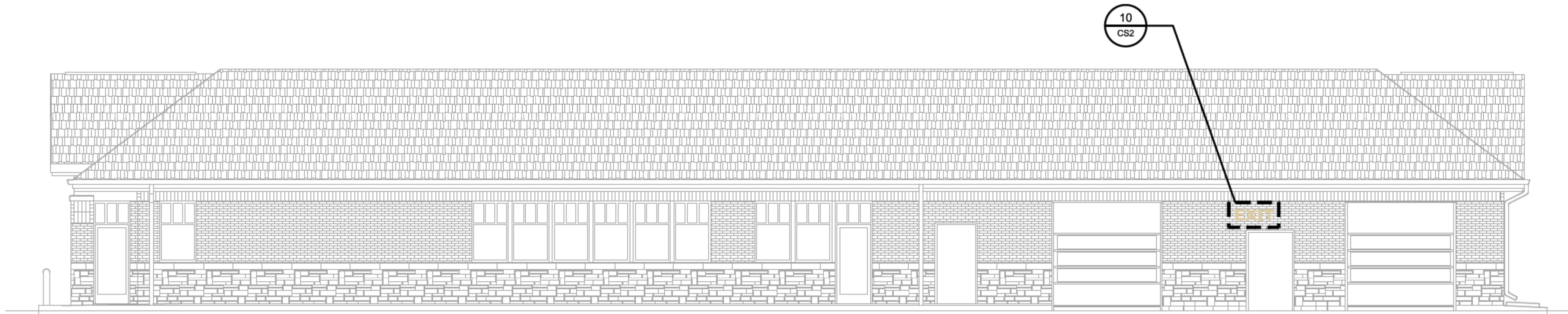
CONVENIENCE STORE SIGNAGE	CONVENIENCE STORE #172 WITH 2 BAY CARWASH	
	CTY HWY H AND 76TH STREET PLEASANT PRAIRIE, WI	
#	DATE	DESCRIPTION
DRAWN BY	B. BERG	
SCALE	MULTIPLE	
PROJ. NO.	0001	
DATE	2015-02-18	
SHEET	15 OF 22 CS1	



ENTER: 12" TALL X 48" LONG
DESERT SAND (TAN) LETTERS

STORE ELEVATION

SCALE: 3/32" = 1'-0"



EXIT: 12" TALL X 36" LONG
DESERT SAND (TAN) LETTERS

STORE ELEVATION

SCALE: 3/32" = 1'-0"

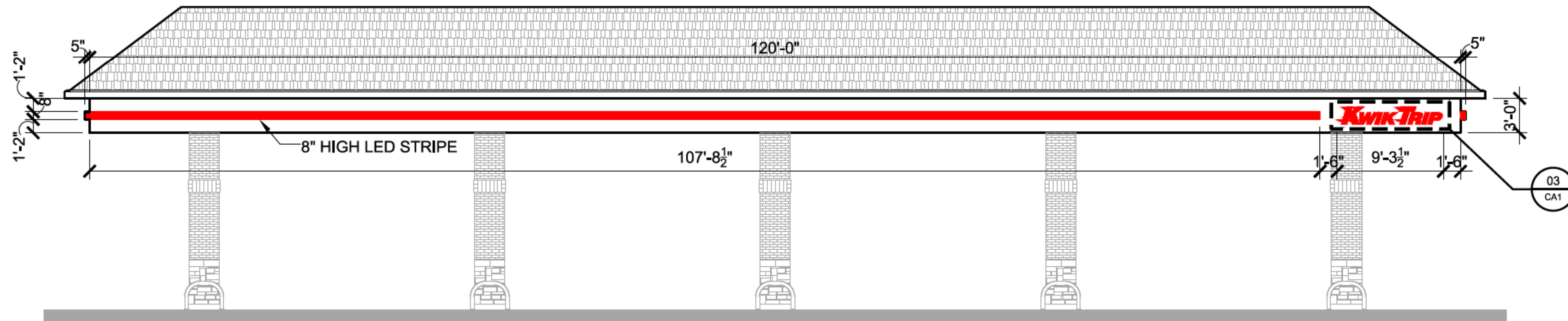


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CONVENIENCE STORE SIGNAGE
CONVENIENCE STORE #172
WITH 2 BAY CARWASH
CTY HWY H AND 76TH STREET
PLEASANT PRAIRIE, WI

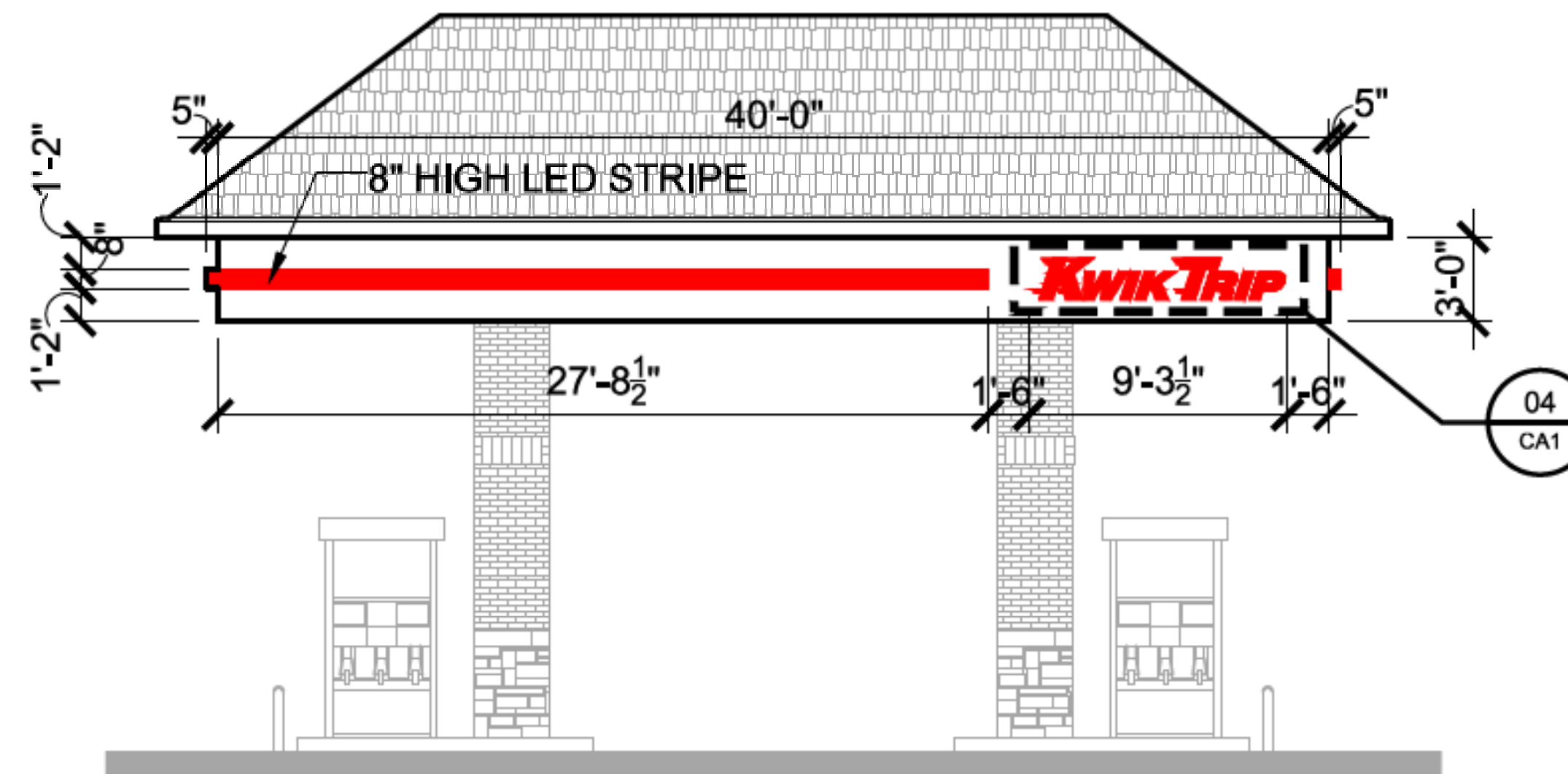
#	DATE	DESCRIPTION

DRAWN BY: B. BERG
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2015-02-18
SHEET: 16 OF 22 CS2



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGNS #03 & #04

SCALE: 1/2" = 1'-0"

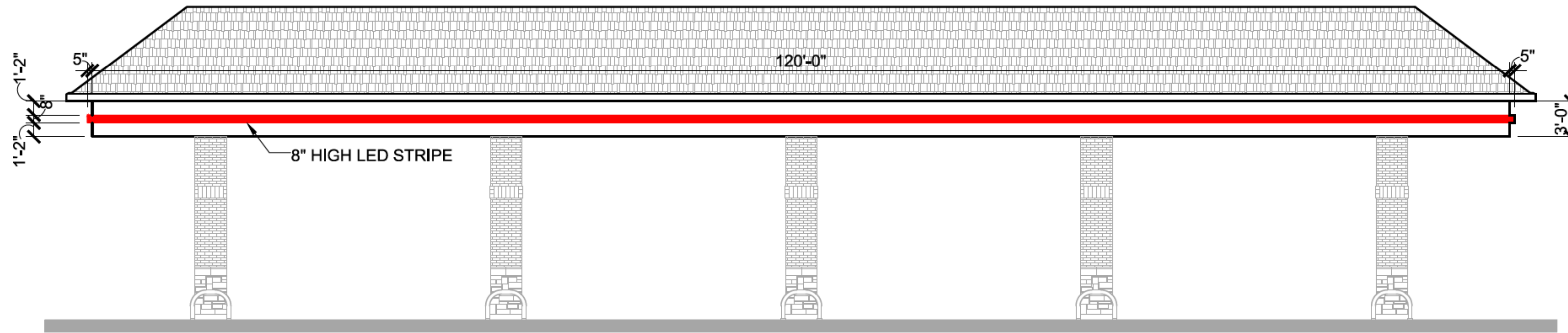


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CANOPY SIGNAGE
CONVENIENCE STORE #172
WITH 2 BAY CARWASH
CTY HWY H AND 76TH STREET
PLEASANT PRAIRIE, WI

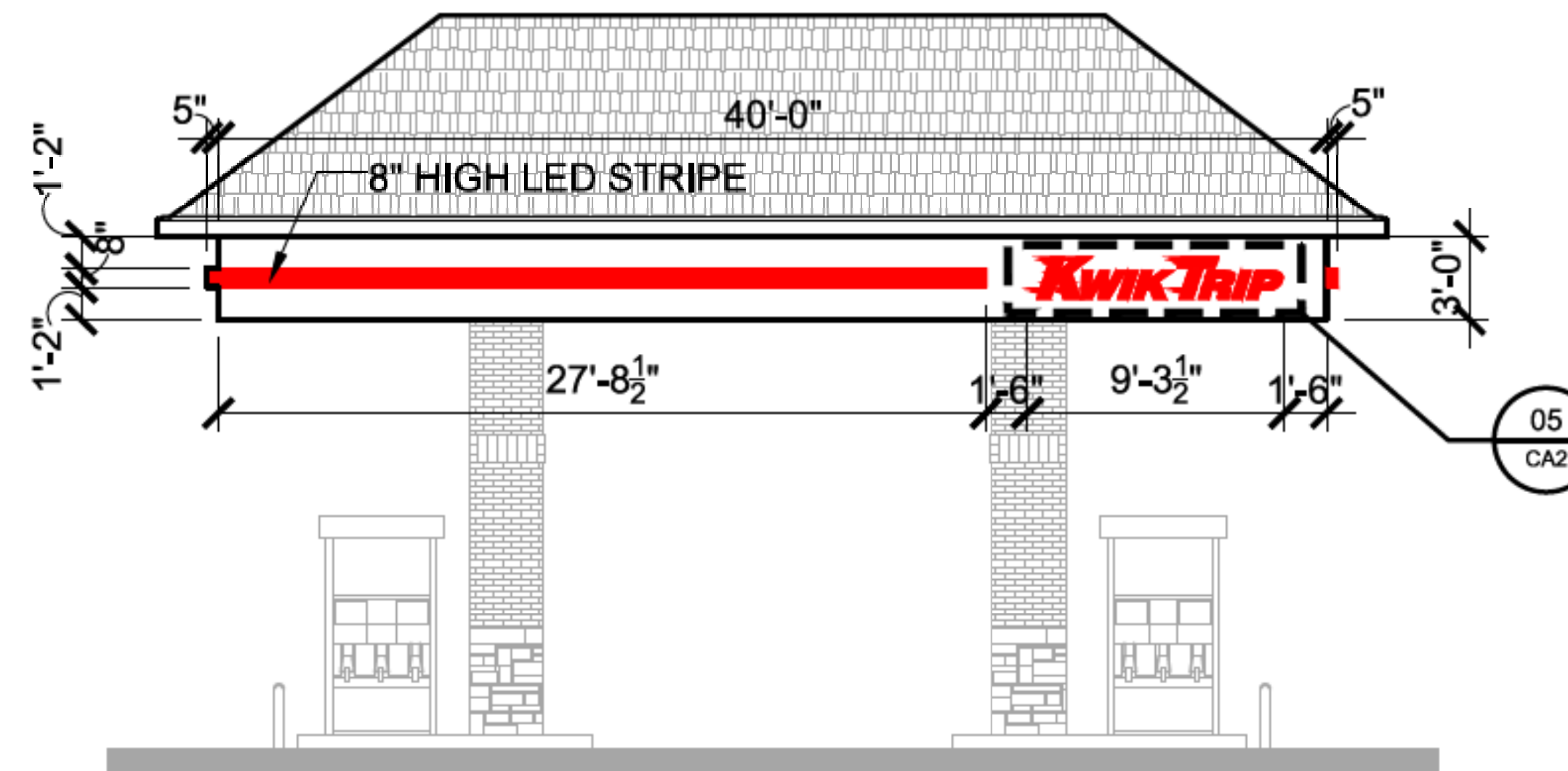
#	DATE	DESCRIPTION

DRAWN BY B. BERG
SCALE MULTIPLE
PROJ. NO. 0001
DATE 2015-02-17
SHEET 17 OF 22 CA1



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



CANOPY ELEVATION

SCALE: 3/32" = 1'-0"



LOGO DETAIL - SIGN #05

SCALE: 1/2" = 1'-0"



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CANOPY SIGNAGE
 CONVENIENCE STORE #172
 WITH 2 BAY CARWASH
 CTY HWY H AND 76TH STREET
 PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: B. BERG
 SCALE: MULTIPLE
 PROJ. NO.: 0001
 DATE: 2015-02-17
 SHEET: 18 OF 22 CA2



NON-LIT DIRECTIONAL SIGN
WHITE VINYL ON RED ALUMINUM
1'-0"H X 4'-0"W = 4.0 SQ FT

DIRECTIONAL SIGN #06

SCALE: 3/4" = 1'-0"



NON-LIT INFORMATIONAL SIGN
RED VINYL ON WHITE ALUMINUM
1'-0"H X 10'-0"W = 10.0 SQ FT

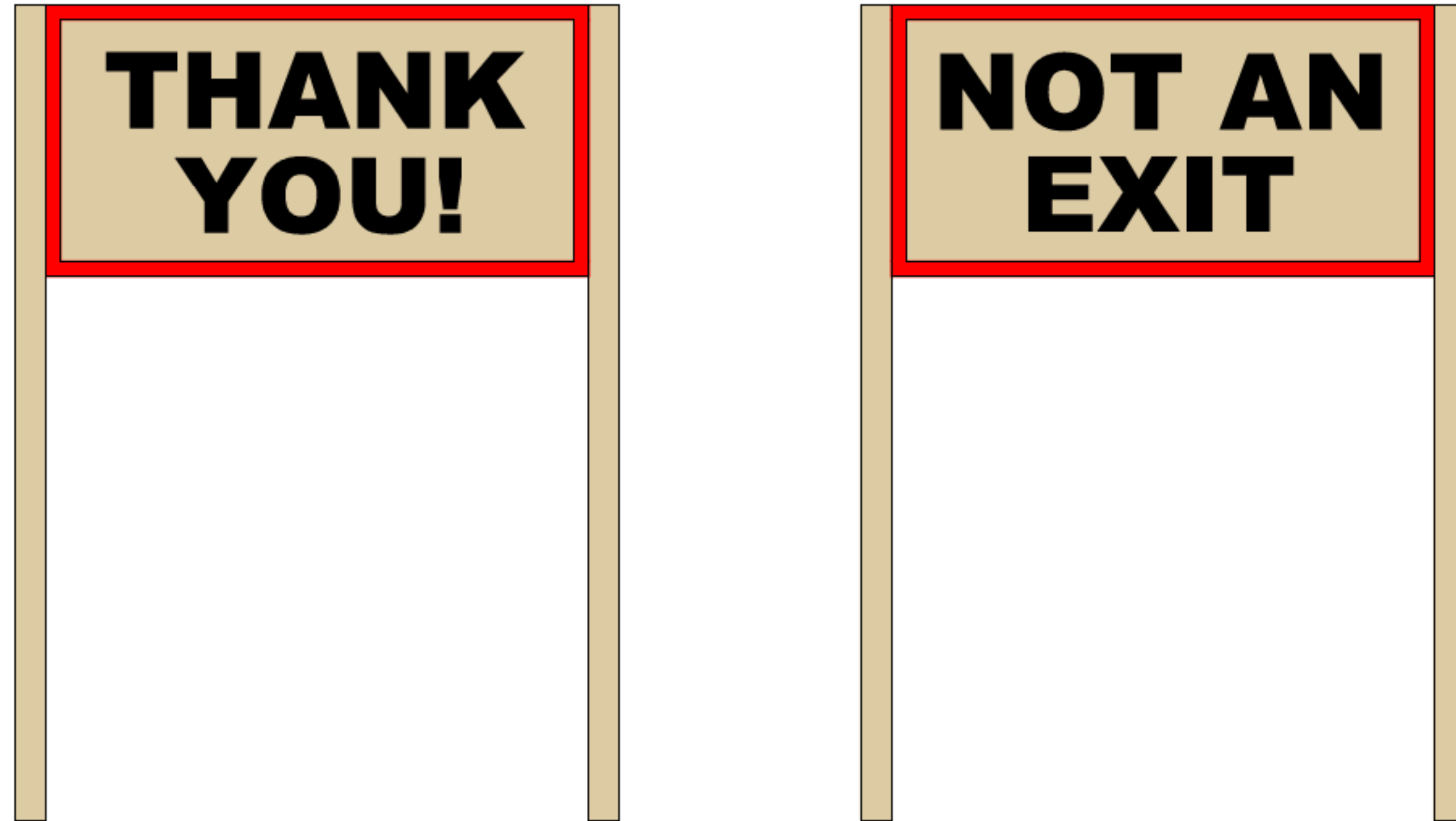
INFORMATIONAL SIGNS #07 & #09

SCALE: 1/2" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

NORTH SIDE

SOUTH SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T = 4.50 SQ FT

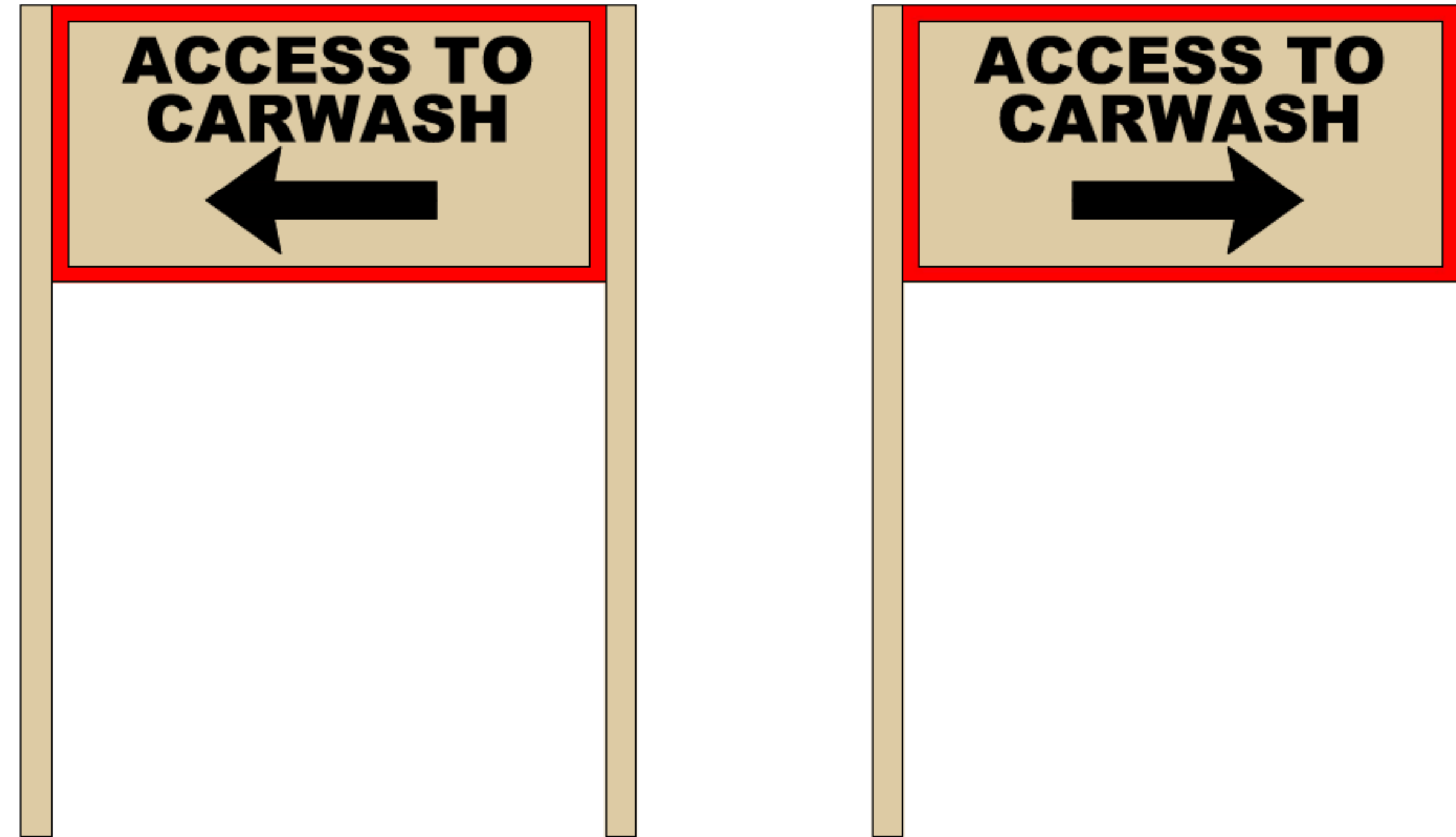
DIRECTIONAL SIGN #12

SCALE: 3/4" = 1'-0"

DOUBLE SIDED DIRECTIONAL SIGN

WEST SIDE

EAST SIDE



NON-LIT DIRECTIONAL SIGN
RED & BLACK VINYL ON LIGHT BEIGE ALUMINUM
1'-6"H X 3'-0"W X 4'-6"T = 4.50 SQ FT

DIRECTIONAL SIGN #11

SCALE: 3/4" = 1'-0"



STORES



STORES

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DIRECTIONAL SIGNAGE
CONVENIENCE STORE #172
WITH 2 BAY CARWASH
CTY HWY H AND 76TH STREET
PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: B. BERG
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2015-02-18
SHEET: 19 OF 22 DS1

KWIK TRIP

#172 Pleasant Prairie, WI

Sign #13



*COLORS ON SKETCH ARE A REPRESENTATION, ACTUAL COLOR MAY DIFFER

KWIK TRIP

#172 Pleasant Prairie, WI

Sign #14



LA CROSSE SIGN CO.

MAKE A STATEMENT!

Date: 2-16-2015
Artist: Danielle Waas
Order # 83781
Sales: Cindy Bluske
Scale: 3/8"=1'

Kwik Trip/Pleasant Prairie, WI #172/New Site/Design/Art 172 Art 83781 Sign 14

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APPROVED BY: _____

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STORES

KWIK STAR

STORES

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

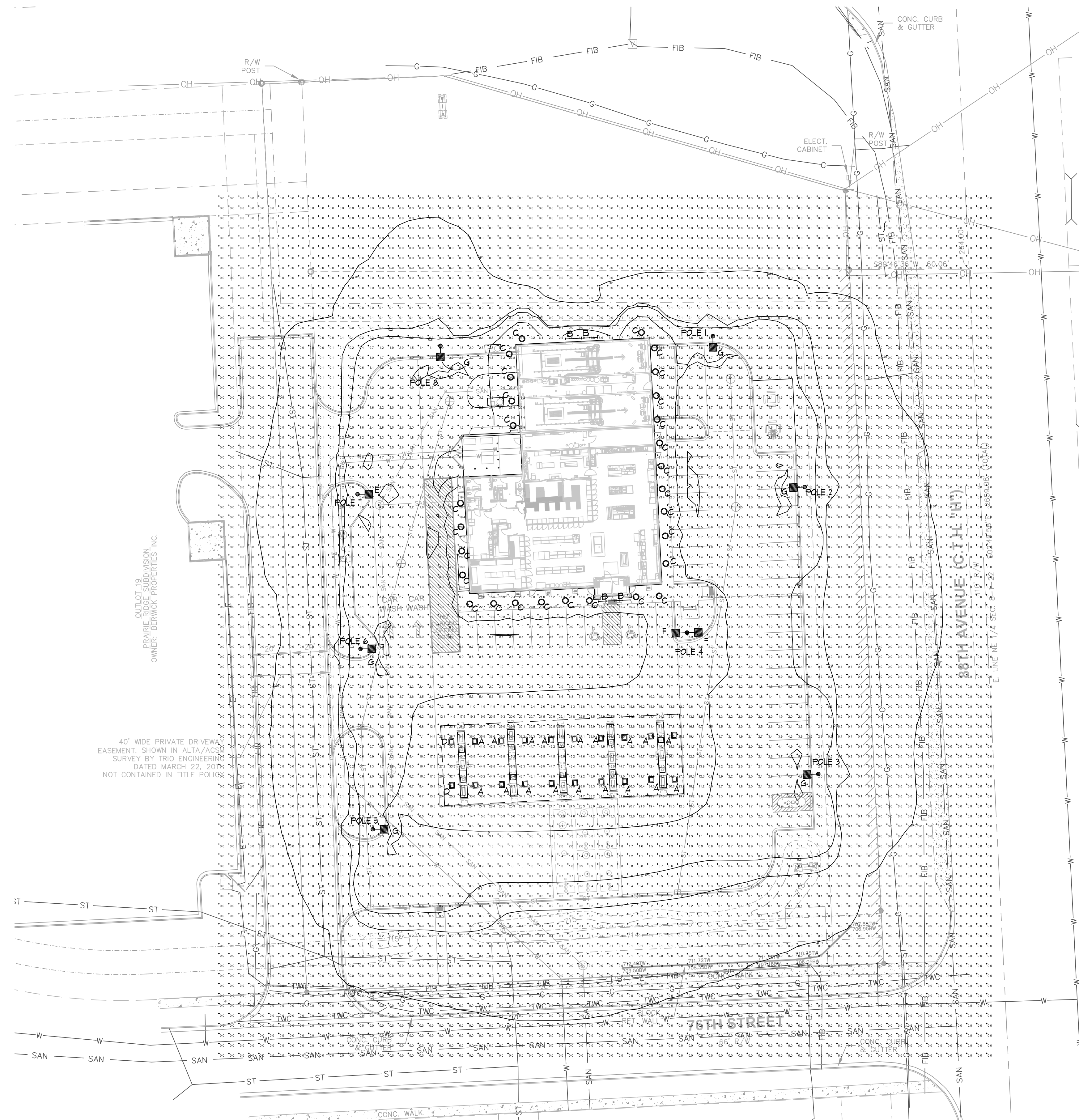
DIRECTIONAL SIGNAGE

CONVENIENCE STORE #172
WITH 2 BAY CARWASH

CITY HWY H AND 76TH STREET
PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: B. BERG
SCALE: MULTIPLE
PROJ. NO.: 0001
DATE: 2015-02-18
SHEET: 20 OF 22 DS2



OUTLOT 18
PRAIRIE RIDGE SUBDIVISION
OWNER: BERWICK PROPERTIES INC.

40' WIDE PRIVATE DRIVEWAY
EASEMENT, SHOWN IN ALTA/ACS
SURVEY BY TRO ENGINEERING
DATED MARCH 22, 2011
NOT CONTAINED IN TITLE POLICE

PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'-0"

NOTE:
FOOTCANDLE LEVELS ARE MEASURED AT GROUND LEVEL.

FIXTURE QUANTITIES

- A - 18
- B - 4
- C - 28
- D - 2
- E - 1
- F - 2
- G - 6

PROVIDE A TOTAL OF (8) 15' POLES.

CALCULATION STATISTICS

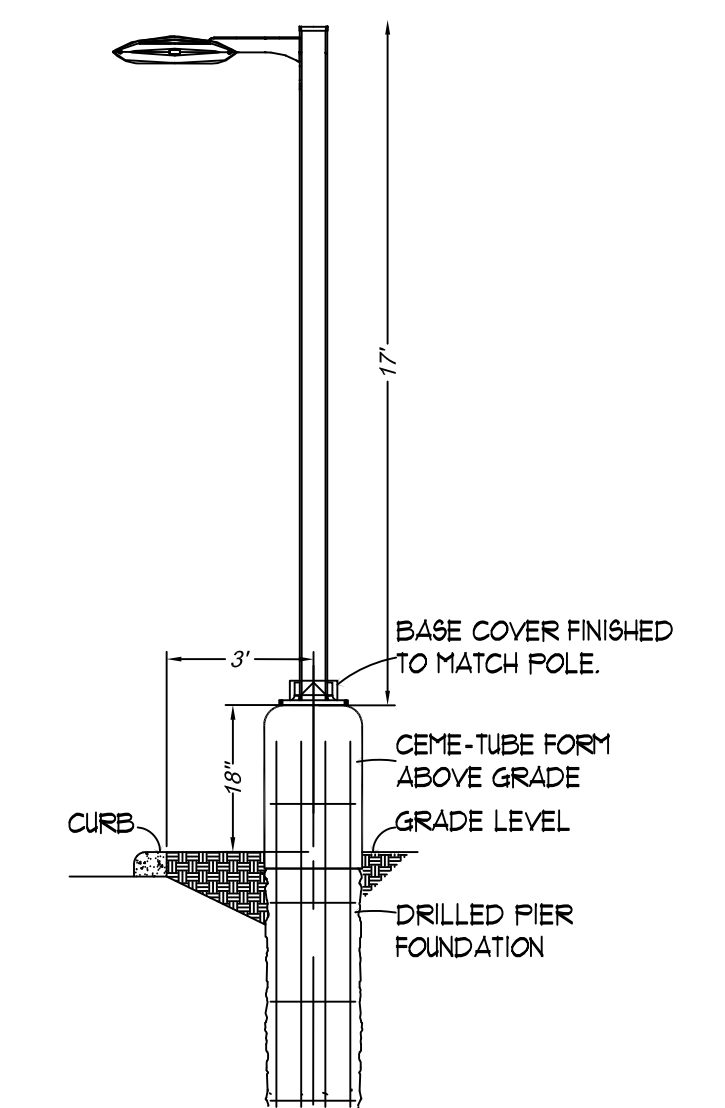
AVERAGE: 2.7fc
MAXIMUM: 46.9fc
MINIMUM: 0.0fc

FIXTURE SYMBOLS:

- A & D RECECESSED LED LIGHT MOUNTED UNDER CANOPY
- B LED STRIP LIGHT
- C RECECESSED LED DOWNLIGHT
- E, F, & G POLE MOUNTED LED FIXTURE

FIXTURE TYPES:

- A - CREE LIGHTING: CAN-304-SL-R3-06-E-UL-UH-100
MOUNTING HEIGHT - 16'-0"
- B - LED STRIP LIGHT
LITHONIA - ZLI-L96-LB840
MOUNTING HEIGHT: SEE ARCHITECTURAL ELEVATIONS
- C - RECECESSED LED DOWNLIGHT
GOTHAM EVO 4123-8AR-120-TRW
- D - CREE LIGHTING: CAN-304-PS-R3-06-E-UL-UH-100
MOUNTING HEIGHT - 16'-0"
- E - CREE LIGHTING: ARE-EDG-2MB-DA-12-E-UL-UH-350
- F - CREE LIGHTING: ARE-EDG-4M-DA-12-E-UL-UH-350
- G - CREE LIGHTING: ARE-EDG-4MB-DA-12-E-UL-UH-350



LOT LIGHT ELEVATION DETAIL
NOT TO SCALE

POLE TO BE PAINTED WHITE. CONCRETE BASES ARE NOT TO BE PAINTED.

KWIK TRIP STORES

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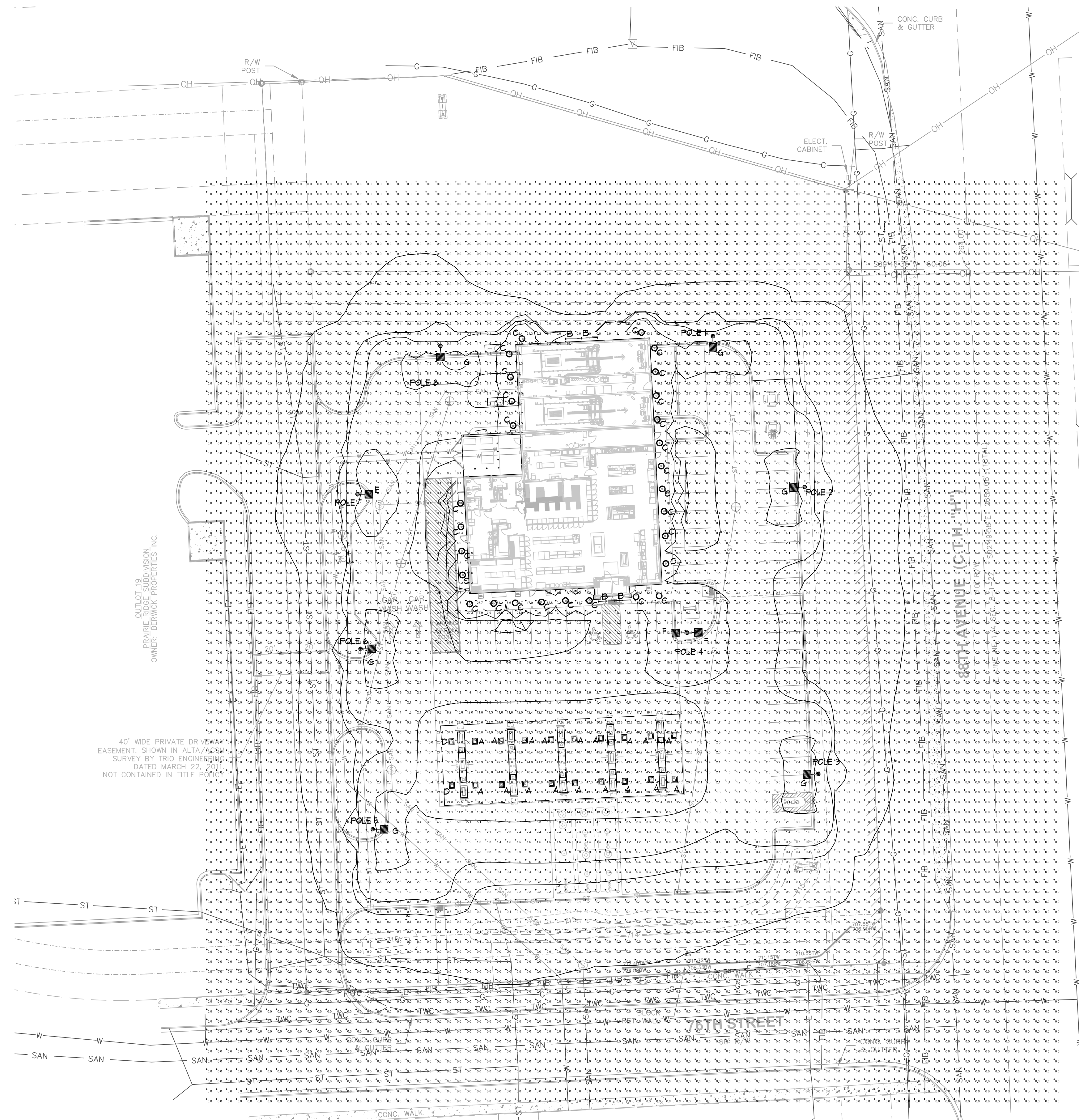
JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22831 NANCY'S COURT SUITE 3
WALKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX
MADISON | MILWAUKEE | KENOSHA | APPLETON

PHOTOMETRIC SITE PLAN
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH
C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: CZE
SCALE: 14-6612A
JSD PROJ. NO.: 02-15-2015
DATE: SHEET

CZE001
CZARNECKI ENGINEERING INCORPORATED
101 MARLIN COURT, SUITE B - WALKESHA, WI 53186
VOICE: (262) 513-2010 FAX: (262) 513-3023
WEB PAGE: www.czeeng.com



PHOTOMETRIC SITE PLAN
SCALE: 1" = 30'-0"

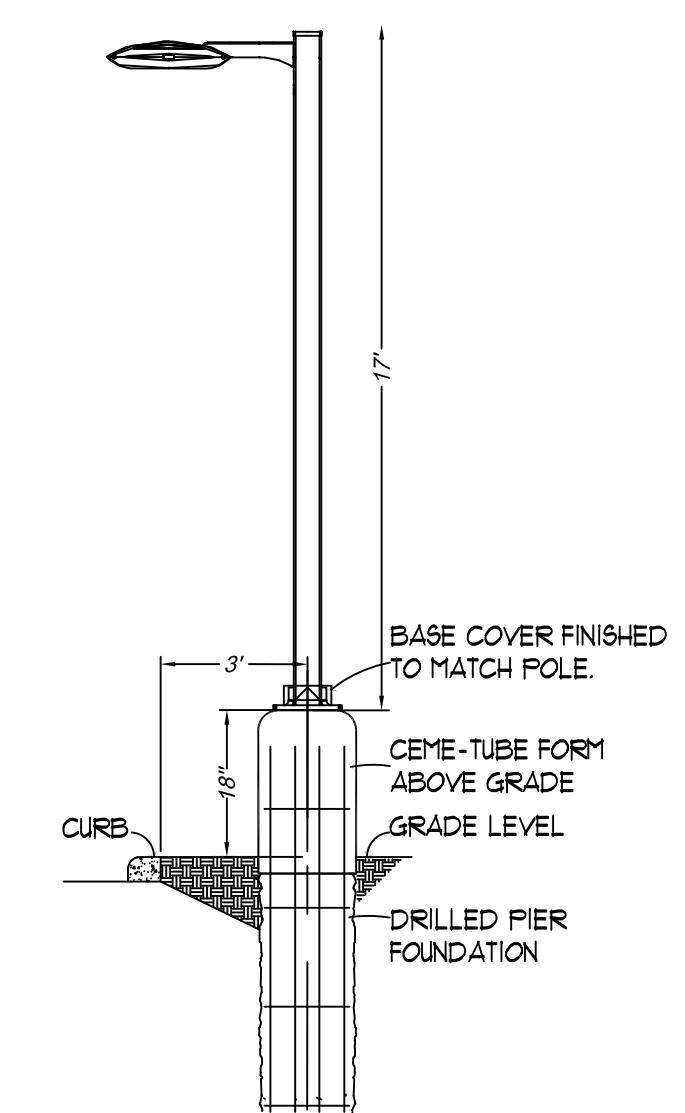
NOTE:
FOOTCANDLE LEVELS ARE MEASURED AT 4' ABOVE GRADE.

FIXTURE SYMBOLS:

- A + D RECESSED LED LIGHT MOUNTED UNDER CANOPY
- B LED STRIP LIGHT
- C RECESSED LED DOWNLIGHT
- E, F, G POLE MOUNTED LED FIXTURE

FIXTURE TYPES:

- A - CREE LIGHTING: CAN-304-SL-R3-06-E-UL-UH-100
MOUNTING HEIGHT - 16'-0"
- B - LED STRIP LIGHT
LITHONIA - ZLI-L96-LB840
MOUNTING HEIGHT: SEE ARCHITECTURAL ELEVATIONS
- C - RECESSED LED DOWNLIGHT
GOTHAM EVO 4129-8AR-120-TRW
- D - CREE LIGHTING: CAN-304-PS-R3-06-E-UL-UH-100
MOUNTING HEIGHT - 16'-0"
- E - CREE LIGHTING: ARE-EDG-2MB-DA-12-E-UL-UH-350
- F - CREE LIGHTING: ARE-EDG-4M-DA-12-E-UL-UH-350
- G - CREE LIGHTING: ARE-EDG-4MB-DA-12-E-UL-UH-350



LOT LIGHT ELEVATION DETAIL
NOT TO SCALE

POLE TO BE PAINTED WHITE. CONCRETE BASES ARE NOT TO BE PAINTED.

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STORES

KWIK STAR

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262.513.0666 PHONE | 262.513.1232 FAX
MADISON | MILWAUKEE | KENOSHA | APPLETON

PHOTOMETRIC SITE PLAN

CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH

C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: CZE
SCALE: 1" = 30'-0"
JSD PROJ. NO.: 14-8612A
DATE: 02-15-2015

02/001
CZARNECKI ENGINEERING INCORPORATED
171 MARLIN COURT SUITE B - WAUKESHA, WI 53186
VOICE: (262) 513-0200 FAX: (262) 513-3023
WEB PAGE: www.czeng.com

STORMWATER MANAGEMENT PLAN

Exhibit E

Project:

CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH

75TH ST. (S.T.H. '50') & 88TH AVE. (C.T.H. 'H')
VILLAGE OF PLESANT PRAIRIE, WI
JSD Project No: 14C6612A

www.JSDinc.com



Planning & Development
Site/Civil Engineering
Transportation Engineering
Water Resources
Landscape Architecture
Surveying & Mapping
Construction Management

February 15, 2015

Prepared for:

**KWIK
TRIP**
TM
INCORPORATED

P.O BOX 2017
1626 Oak Street
La Crosse, WI
54602-2107

JSD Professional Services, Inc.
• Engineers • Surveyors • Planners

*Building relationships with a commitment to client
satisfaction through trust, quality and experience.*

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6.0 CONCLUSION	4

Questions and comments can be directed to:

Rizal W. Iskandarsjach, P.E., P.L.S.
Senior Project Engineer
riz@jsdinc.com

JSD Professional Services, Inc.
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N22 W22931 Nancy Ct., Suite 3
Waukesha, WI 53186
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Fax: 262.513.1232

APPENDICES

APPENDIX 1 - LOCATION MAP

- AERIAL LOCATION MAP
- ALTA/ACSM LAND TITLE SURVEY
- PROPOSED LAND DIVISION

APPENDIX 2 - SOIL MAP AND REPORT

- USDA SOIL MAP
- GILES ENGINEERING ASSOC. SOIL BORING REPORT

APPENDIX 3 - DESIGN DETAILS

- SWMP GRADING PLAN (SP3.0)
- SWMP DETAILS (SP3.1)
- SWMP UTILITY PLAN (SP4.0)

APPENDIX 4 - WATER QUALITY CALCULATIONS

- SWMP HYDROLOGY MAP (H-1)
- PRAIRIE RIDGE GRADING PLAN (SHEET 17 OF 19)
- SLAMM INPUT
- SLAMM OUTPUT

1.0 INTRODUCTION

The proposed Kwik Trip Convenience Store #172 is located in the Northwest 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin. The site is generally bounded by 76th Street to the south, a developed commercial properties to the west, 75th Street to the north, and 88th Avenue to the east. A map identifying the project location can be found in **Appendix 1**.

The Kwik Trip Convenience Store #172 is within Outlot 18 of Prairie Ridge Subdivision. This land and additional lands to the north will be combined via a Certified Survey Map that will be submitted to the Village of Pleasant Prairie for approval and to Kenosha County for recording. Within the Prairie Ridge Subdivision storm water management facilities was design and constructed based on the requirements of that time. This development, along with other areas, drain to an existing dry pond located within Outlot 16 of Prairie Ridge Subdivision. Based on communication with Matt Fineour, Village Engineer, the existing dry pond requires improvement to meet current standard. The dry pond will be converted to a wet pond to meet the required 40% reduction in Total Suspended Solids (TSS). The storm water improvement has been designed in accordance with the Village of Pleasant Prairie storm water guidelines and Wisconsin Department of Natural Resources guidance. The storm water conditions, draining to the existing pond, have been evaluated for anticipated fully developed conditions. Please refer to **Section 3.0** and **Section 5.0** for design criteria and additional details of the storm water facilities.

2.0 EXISTING CONDITIONS

The existing land consists of a proposed demolished residential land and an open pad ready land. The residential land drains easterly to existing ditch on the west side of 88th Avenue. The ditch then drains southerly to an existing wetland located north of Outlot 16. The open pad ready land (Outlot 18) drains southeasterly to an existing storm sewer pipe that conveys storm water to the existing dry pond.

Multiple soil types have been identified on-site using soils data obtained from the United States Department of Agriculture – Natural Resources Conservation Service Web Soil Survey. A soil location map illustrating the various soils has been included in **Appendix 2**. A listing of the soil map units and descriptions is shown in Table 1 below.

Table 1 – Soil Types

Map Symbol	Map Unit Name	Hydrologic Soil Group
AtA	Ashkum silty clay loam	C/D
EtB	Elliot silty clay loam	C/D
MeB2	Markham silt loam	C
VaB	Varna silt loam	C

3.0 DESIGN CRITERIA

3.1 Village of Pleasant Prairie

3.2 Wisconsin Department of Natural Resources

WDNR – Technical Standards (NR151 and NR216)

Water Quantity: Not required for this development.

Water Quality: For infill re-development, reduce to the maximum extent practicable, the total suspended solids load by 40%, based on an average annual rainfall, as compared to no runoff management controls. Please refer to **Section 4.0** for the water quality treatment calculations using WinSLAMM® (Version 10.0.2) Source Loading and Management Model.

Infiltration: Not required for this development.

4.0 ANALYSIS

Sediment reduction characteristics for the proposed conditions have been analyzed using WinSLAMM® (Version 10.0.2) Source Loading and Management Model. WinSLAMM® input data and results have been included in **Appendix 4**.

5.0 DESIGN

5.1 Water Quality – Total Suspended Solids Treatment

Water quality will be achieved through settling of suspended solids in the converted pond. The existing dry pond will be dug out about 2.3 feet deep resulting in a permanent sump. The existing vertical 36 inch riser at the outlet will be removed. The riser was intended to be used as a temporary construction orifice for the original development and was intended to be removed.

Table 2 summarizes the TSS reduction as calculated using WinSLAMM®. Refer to **Appendix 4** for WinSLAMM input and output data used in the water quality model.

Table 2 – Total Suspended Solids Loading

	Total Without Controls (lbs)	Total After Controls (lbs)	Percent Reduction
Proposed Construction	5117	2965	42.06%

6.0 CONCLUSION

The storm water management facilities for the Kwik Trip–Convenience Store #172 development, along with other land that drains to the pond within Outlot 16, have been designed to meet or exceed Village of Pleasant Prairie requirements and WDNR technical standards NR151 and NR216 for water quality in an area of infill development. The converted pond will provide a total suspended solids reduction of 42.06%, above the 40% Village of Pleasant Prairie and the Wisconsin DNR recommended reduction.

(Appendices Follow)

APPENDIX 1

Location Map

- AERIAL LOCATION MAP
- ALTA/ACSM LAND TITLE SURVEY
- PROPOSED LAND DIVISION



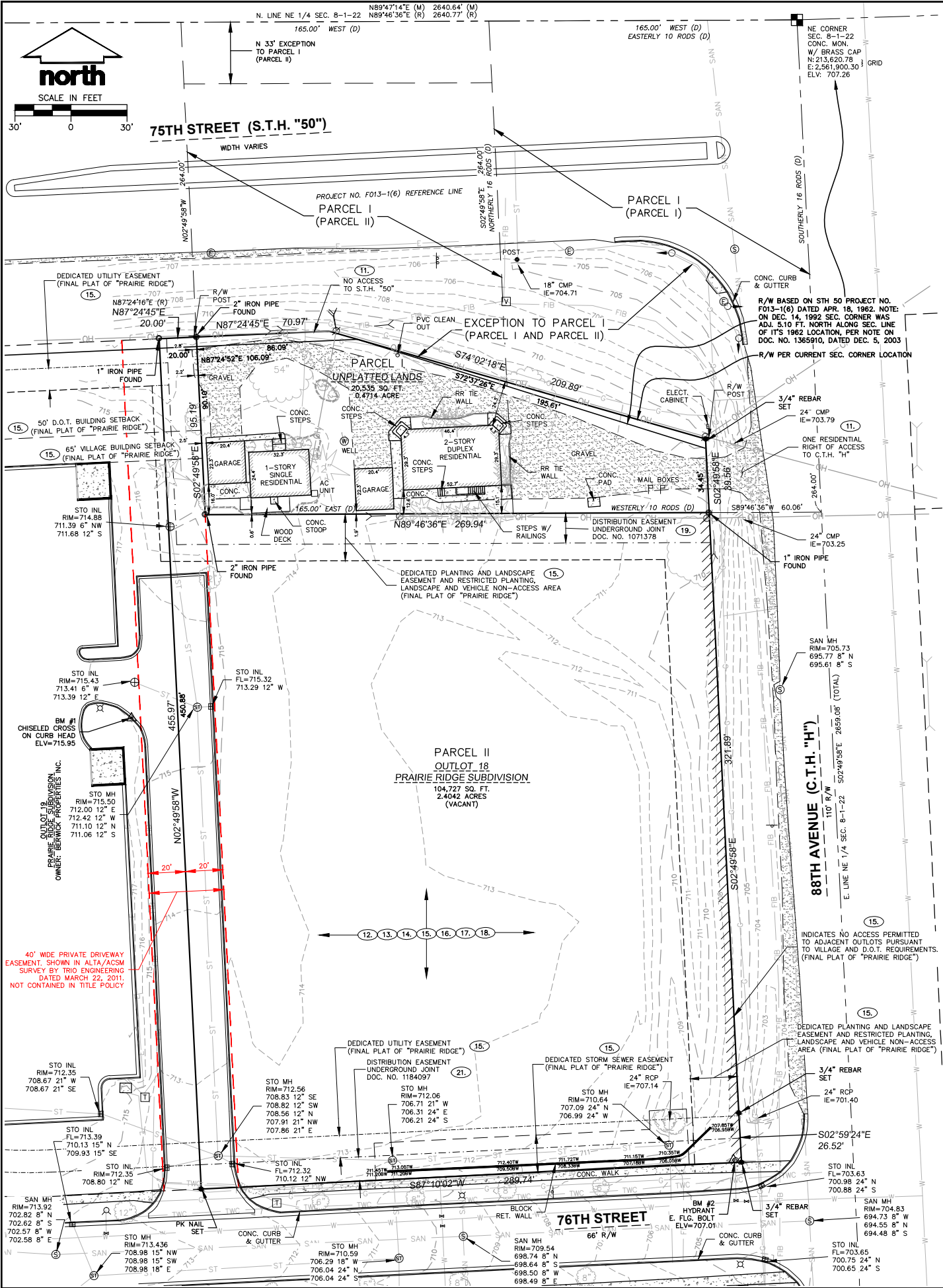
Kwik Trip Store #172



Location Map

Village of Pleasant Prairie, Kenosha County, WI

(NE 1/4 of NE 1/4 Section 8, Township 1 North, Range 22 East)



GENERAL NOTES:

- Bearings are referenced to grid north of the Wisconsin State Plane Coordinate System, South Zone. The east line of the NE 1/4 of Section 8-1-22, was used as N02°49'58"W.
- Project Conversion Factor: Grid/1,000,000 = Ground
- Horizontal Datum: North American Datum of 1927. (Minus 2,000,000 from the East coordinate.)
- Vertical Datum: National Geodetic Vertical Datum of 1929 (NGVD29).
- Reference Benchmark: Northeast corner of the Southwest 1/4 of Section 8, Township 1 North, Range 22 East, concrete monument with SEWRPC brass cap. Elevation = 707.26
- Site Benchmarks:
 - Benchmark 1: Chiseled cross on curb head, south side of west adjacent site entrance. Elevation = 715
 - Benchmark 2: East flange bolt on hydrant located on north side of 76th St., 60± ft. west of centerline C.T.H. "H". Elevation = 707.01
- This ALTA/ACSM Land Title Survey was prepared and based on Landmark Title Corporation, Title Commitment No. LT-136200, effective date October 20, 2014.
- Outlot 18 Prairie Ridge storm water drains to a regional pond located within Outlot 16 Prairie Ridge, via public storm pipes, see location map.

LEGAL DESCRIPTION:

(Per Landmark Title Corporation, Title Commitment No. LT-136200, effective date October 20, 2014)
 PARCEL I:
 Parcel I: A parcel of land in the Northeast quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Beginning on the Northeast corner of the said Northeast 1/4 section; thence South 89°46'36" West and along the East line of the said Northeast 1/4 section, 264.00 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. "H") and the place of beginning of land hereinafter described; Continuing thence South 89°46'36" West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast 1/4 section, 269.94 feet to a point; thence North 02°49'58" West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast 1/4 section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. "50"); thence North 87°24'45" East and along the said South Right-of-Way line, 70.97 feet to a point; thence South 74°02'18" East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. "H"); thence South 02°49'58" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast 1/4 Section 39.56 feet to the point of beginning of this description.

EXCEPTING from the above parcels that certain parcel of land described in Award of Damages recorded in Volume 585 of Records, pages 337-8, as Document No. 429676.
 Legal also described as:
 All that part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Town 1 North, Range 22 East of the fourth principal meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, now being more particularly described as follows: Commencing at the Northeast corner of the said Northeast 1/4 section; thence South 02°49'58" East and along the East line of the said Northeast 1/4 section, 264.00 feet to a point; thence South 89°46'36" West and along the North line of the said Northeast 1/4 section, 60.06 feet to a point on the West Right-of-Way line of 88th Avenue (C.T.H. "H") and the place of beginning of land hereinafter described; Continuing thence South 89°46'36" West and along the North line of Outlot 18 of "Prairie Ridge" (A Subdivision Plat of Record) and being parallel to the said North line of the said Northeast 1/4 section, 269.94 feet to a point; thence North 02°49'58" West and along the East line of said Outlot 18 and being parallel to the said East line of the said Northeast 1/4 section, 95.19 feet to a point on the South Right-of-Way line of 75th Street (S.T.H. "50"); thence North 87°24'45" East and along the said South Right-of-Way line, 70.97 feet to a point; thence South 74°02'18" East and along the said South Right-of-Way line, 209.89 feet to a point on the said West Right-of-Way line of said 88th Avenue (C.T.H. "H"); thence South 02°49'58" East and along the said West Right-of-Way line being parallel to and at a right angle distance of 60.00 feet from the said East line of the said Northeast 1/4 Section 39.56 feet to the point of beginning of this description.

NOTE: Property Address: 7510 88th Avenue
 Tax Key No. 91-4-122-081-010
 PARCEL II:
 Outlot 18 in Prairie Ridge, being a subdivision of part of the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Northeast Quarter, the Northeast Quarter, the Northwest Quarter, the Southeast Quarter and the Southwest Quarter of the Southwest Quarter of Section 8, Town 1 North, Range 22 East of the Fourth Principal Meridian; in the Village of Pleasant Prairie, Kenosha County, Wisconsin.
 NOTE: Property Address: 76th Street
 Tax Key No. 91-4-122-081-0105

SCHEDULE B - SECTION II EXCEPTIONS:

- 1-3, & 9 (VISIBLE EVIDENCE SHOWN IF ANY)
- 4-8 (NOT SURVEY RELATED)
10. Agreement and Waiver of Special Assessment Notice and Hearing Under Section 66.0703, Wisconsin Statutes by and between Village of Pleasant Prairie, a Wisconsin municipal corporation and SBI Pleasant Prairie W, L.L.C., a Delaware limited liability company, dated February 4, 2014 and recorded in the Kenosha County Register of Deeds office on February 10, 2014 as Document No. 1720813; Together with Affidavit of Correction dated May 16, 2004 and recorded in said Register's office on February 20, 2014 as Document No. 1721442; to correct the parcel numbers; Together with Partial Termination of Agreement recorded in said Register's office on October 16, 2014, as Document No. 1735986. (As to Outlot 18)
11. Access Restrictions contained in Award of Damages dated June 2, 1961 and recorded in the Kenosha County Register of Deeds office in Volume 585 of Records, pages 337-8, as Document No. 429676. (Affects Parcel I)
12. Memorandum of Development Agreement executed by Village of Pleasant Prairie and V. K. Development Corporation on March 9, 1998 and recorded in the Kenosha County Register of Deeds office March 12, 1998 as Document No. 1088728. (Affects Parcel II)
13. Declaration of Development Standards and Protective Covenants dated March 11, 1998 and recorded in said Register's office on March 12, 1998 as Document No. 1088729; Together with First Amendment dated October 8, 1998 and recorded in said Register's office October 9, 1998 as Document No. 1115848, and recorded as Document No. 1120380; Together with Second Amendment recorded in said Register's office on January 13, 2000 as Document No. 1170558 and re-recorded as Document No. 1175258; Together with Third Amendment recorded in said Register's office on March 7, 2000 as Document No. 1175267; Together with Fourth Amendment recorded in said Register's office on April 5, 2014 as document No. 1614310. (Affects Parcel II)
14. Memorandum of Development Agreement V. K. Development Corporation dated September 13, 1996 and recorded in the Kenosha County Register of Deeds office on September 18, 1996 as Document No. 1035850. (Affects Parcel II)
15. Dedications and Restrictive Covenants running with the land as shown on the recorded plat of Prairie Ridge, a subdivision recorded with the Kenosha County Register of Deeds office on March 12, 1998 as Document No. 1088727; Together with Affidavit of Correction dated May 25, 1999 and recorded in said Register's office on October 21, 1999 as Document No. 1162822; Affidavit of Correction dated November 11, 1999 and recorded in said Register's office on November 12, 1999 as Document No. 1165302; Together with Affidavit of Correction dated May 16, 2004 and recorded in said Register's office on June 1, 2004 as Document No. 1183480; Together with Affidavit of Correction dated September 13, 2000 and recorded in said Register's office on April 25, 2002 as Document No. 1265278; Together with Affidavit of Correction dated February 18, 2005 and recorded in said Register's office on March 1, 2005 as Document No. 1423804. (Affects Parcel II)
16. Memorandum of Agreement executed by Village of Pleasant Prairie and V. K. Development Corporation on October 28, 1997 and recorded in the Kenosha County Register of Deeds office on November 4, 1997 as Document No. 1075919. (Affects Parcel II)
17. Variance Grant Document No. 97-09 executed by Village of Pleasant Prairie and VK Development Corporation on October 20, 1997 and recorded in the Kenosha County Register of Deeds office on February 10, 1998 as Document No. 1085138. (Affects Parcel II)
18. Variance Grant Document No. 96-14 executed by Village of Pleasant Prairie and VK Development Corporation on December 16, 1997 and recorded in the Kenosha County Register of Deeds office on February 10, 1998 as Document No. 1085139. (Affects Parcel II)
19. Distribution Easement Underground Joint executed by V. K. Development Corporation to Wisconsin Electric Power Company & Wisconsin Bell, Inc. d/b/a Ameritech-Wisconsin, dated September 18, 1997 and recorded in the Kenosha County Register of Deeds office on September 25, 1997 as Document No. 1071378. (Affects Parcel II)
20. Waiver of Special Assessment Notices dated May 24, 1999 and recorded in the Kenosha County Register of Deeds office June 21, 1999 as Document No. 1149222. (Affects Parcel II)
21. Easement granted to Wisconsin Electric Power Company, Wisconsin Bell, Inc., d/b/a Ameritech-Wisconsin & Time Warner Entertainment Company, LP, as contained in Distribution Easement Underground Joint dated May 19, 2000 and recorded in the Kenosha County Register of Deeds office on June 7, 2000 as Document No. 1164097. (Affects Parcel II)
22. Minutes of a meeting of the Board of Supervisors and Hearing Under Section 66.073, Wisconsin Statutes, dated August 13, 2007 and recorded in the Kenosha County Register of Deeds office November 9, 2007 as Document No. 1539378. (Affects Parcel II)

TABLE A ITEMS:

- At the time of this survey the properties have the following addresses:
 PARCEL I: 7510 88th Avenue
 PARCEL II: number has not been assigned.
- This property is located within Zone X (Areas determined to be outside the 0.2% annual chance floodplain), per FEMA map panel number 55059C01830, effective date: June 19, 2012.
- Gross land area: 125,262 S.F. (2.8756 AC.)
 PARCEL I: 20,535 S.F. (0.4714 ACRE)
 PARCEL II: 104,727 S.F. (2.4042 ACRES)
- At the time of survey, the properties have the following zoning:
 PARCEL I: "B-2" Community Business District with "UHO" Urban Land Holding Overlay District
 PARCEL II: "B-2" Community Business District with "PUD" Planned Unit Development Overlay District
 "B-2" Requirements per Village of Pleasant Prairie Ordinances, Sec. 420-119:
 Min. Lot Size: 2 acres, except as described in Sec. 420-119(1)(1)
 Min. Lot Frontage Public Street: 150 feet, except as described in Sec. 420-119(1)(2)
 Min. Open Space: 50%
 Gross Floor Area: 4,000 S.F. Min. - 25,000 S.F., except as described in Sec. 420-119(1)(4)(a)
 Building Height: 35 feet Max., Hotel = 60 feet Max.
 Street Setback: 65 feet from arterial streets/highways,
 40 feet from nonarterial streets/private roads
 Side Setback: 30 feet
 Rear Setback: 30 feet
 Shore Setback: 75 feet
 Wetland Setback: 25 feet

NOTE: The "UHO" Overlay District is intended to be used where land is expected to experience further urban or suburban development in accordance with underlying zoning but where such development cannot be permitted at the present time due to the existence of one or more deficiencies, including lack of essential services, such as municipal sanitary sewers, water or stormwater management facilities and proper drainage, or the need to provide for access to landlocked lands, or the establishment of street grades that are coordinated, or other neighborhood development matters, refer to Village Ordinance Sec. 420-135 for more information regarding the "UHO" overlay district.
 The "PUD" overlay is related to the signed "Prairie Ridge PUD" which allows for offsite signage.
 Any future development is subject to approval and may require other setbacks and restrictions.

- At the time of this survey, properties do not contain permanent designated parking stalls.
- Underground utility locations are based on observed evidence and field location of markings by "Digger's Hotline" Ticket No. 20145005913 with a start date of December 17, 2014. Underground utility information is shown for informational purposes only, and is not guaranteed to be accurate or all inclusive. The Contractor/Owner is responsible for making his own determination as to the type and location of underground utilities as may be necessary to avoid damage thereto. Contractor/Owner shall call "Digger's Hotline" prior to the start of any construction activities. The survey was performed in accordance with the industry standard of care with respect to existing field condition.
- At the time of this survey there was no delineated wetland areas for this subject property, per Kenosha County GIS Map and WDNR wetland indicator map.

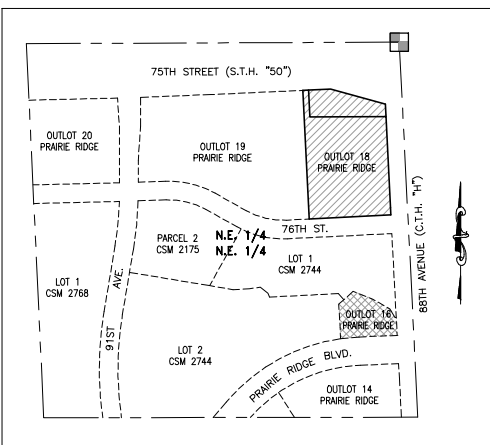
SURVEYOR'S CERTIFICATE:

Ic: SBI Pleasant Prairie W, L.L.C., a Delaware limited liability company; Kwik Trip, Inc.; and Landmark Title Corporation; its successors and assigns:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 11(a), 11(b), 14, 17, and 20 of "Table A" thereof. The field work was completed on December 24, 2014.

Rizal W. Iskandarjagch, P.L.S.
 Professional Land Surveyor, S-2738
 JSD Professional Services, Inc.
 N22 W22931 Nancy Court, Suite 3
 Waukesha, WI 53186
 262-513-0666

LEGEND

- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM SEWER MANHOLE
- ⊕ CATCH BASIN RUD
- ⊕ CURB INLET
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ UTILITY VAULT
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE/POLE
- ⊕ TRAFFIC SIGNAL POLE
- W WATER MAIN
- SAN SANITARY SEWER
- ST STORM SEWER
- G UNDERGROUND GAS
- E UNDERGROUND ELECTRIC
- FIB UNDERGROUND FIBER OPTIC
- TWC TIME WARNER CABLE
- OH OVERHEAD UTILITY



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SERVICES PROVIDED TO:

Kwik TRIP INCORPORATED

STORE NO. 172

PROJECT:
OUTLOT 18 PRAIRIE RIDGE AND ADDITIONAL LANDS IN THE NE 1/4 OF THE NE 1/4 SEC. 8, T1N, R22E

PROJECT LOCATION:
 VILLAGE OF PLEASANT PRAIRIE KENOSHA COUNTY, WI

JSD PROJECT NO.:	14-6612
SEAL/SIGNATURE:	
SURVEYED BY: DJB/RSF	12-24-14
DRAWN BY: RWI	01-26-15
CHECKED BY: RWK	01-26-15
PLAN MODIFICATIONS:	DATE:

DIGGERS HOTLINE

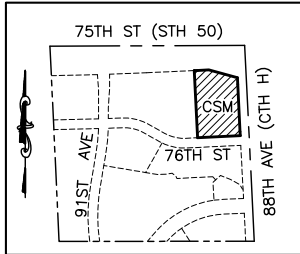
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 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
 www.DiggerHotline.com

SHEET TITLE:
ALTA/ACSM LAND TITLE SURVEY

SHEET NUMBER:
CS-1

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF OUTLOT 18 OF PRAIRIE RIDGE SUBDIVISION AND ADDITIONAL LANDS, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



LOCATION MAP
NE 1/4 OF NE 1/4 SEC 8-1-22
SCALE: 1"=1000'

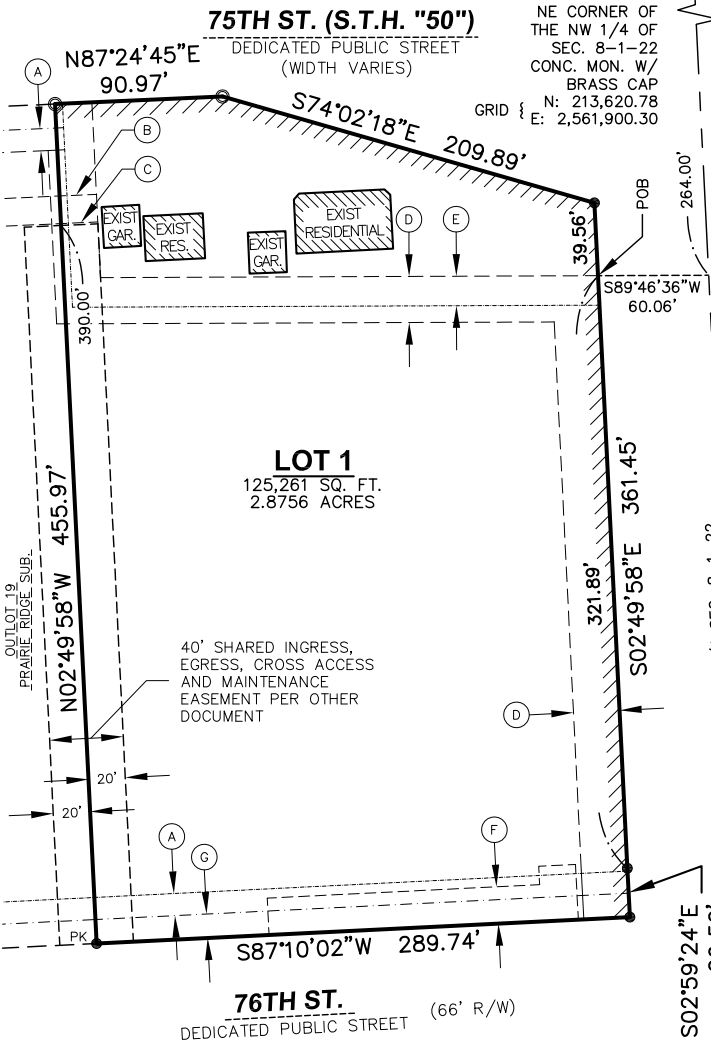
NOTES:

PRAIRIE RIDGE SUBDIVISION RECORDED ON MARCH 12, 1998 AT KENOSHA CO. REGISTER OF DEEDS AS DOC. 1088727.

EXISTING RESIDENTIAL BUILDINGS AND GARAGES TO BE RAZED.

LEGEND:

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4 REBAR FOUND & ACCEPTED
- PK ● PK NAIL FOUND & ACCEPTED
- SET ○ 1"x18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- ▨ ACCESS RESTRICTED PER PRAIRIE RIDGE SUBDIVISION & DOC. NO. 429676



- (A) DEDICATED 12' UTILITY EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (B) 50' D.O.T. BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (C) 65' VILLAGE BUILDING SETBACK PER FINAL PLAT OF "PRAIRIE RIDGE"
- (D) DEDICATED 25' PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA PER FINAL PLAT OF "PRAIRIE RIDGE"
- (E) DEDICATED 16' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1071378
- (F) DEDICATED 20' STORM SEWER EASEMENT PER FINAL PLAT OF "PRAIRIE RIDGE"
- (G) DEDICATED 13' DISTRIBUTION EASEMENT UNDERGROUND JOINT PER DOC. NO. 1184097

PREPARED FOR:
KWIK TRIP, INC
1626 OAK STREET
LA CROSSE, WI 54602

PREPARED BY:

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX



BEARING BASIS
ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 02°49'58" WEST

PROJECT CONVERSION FACTOR: GRID/1.00000319 = GROUND
SUBJECT TO EASEMENTS OF RECORD.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.
ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS _____ DAY OF FEBRUARY, 2015
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

R:\2014\1406612 Kwik Trip - Pleasant Prairie.dwg 1406612 CSM.dwg

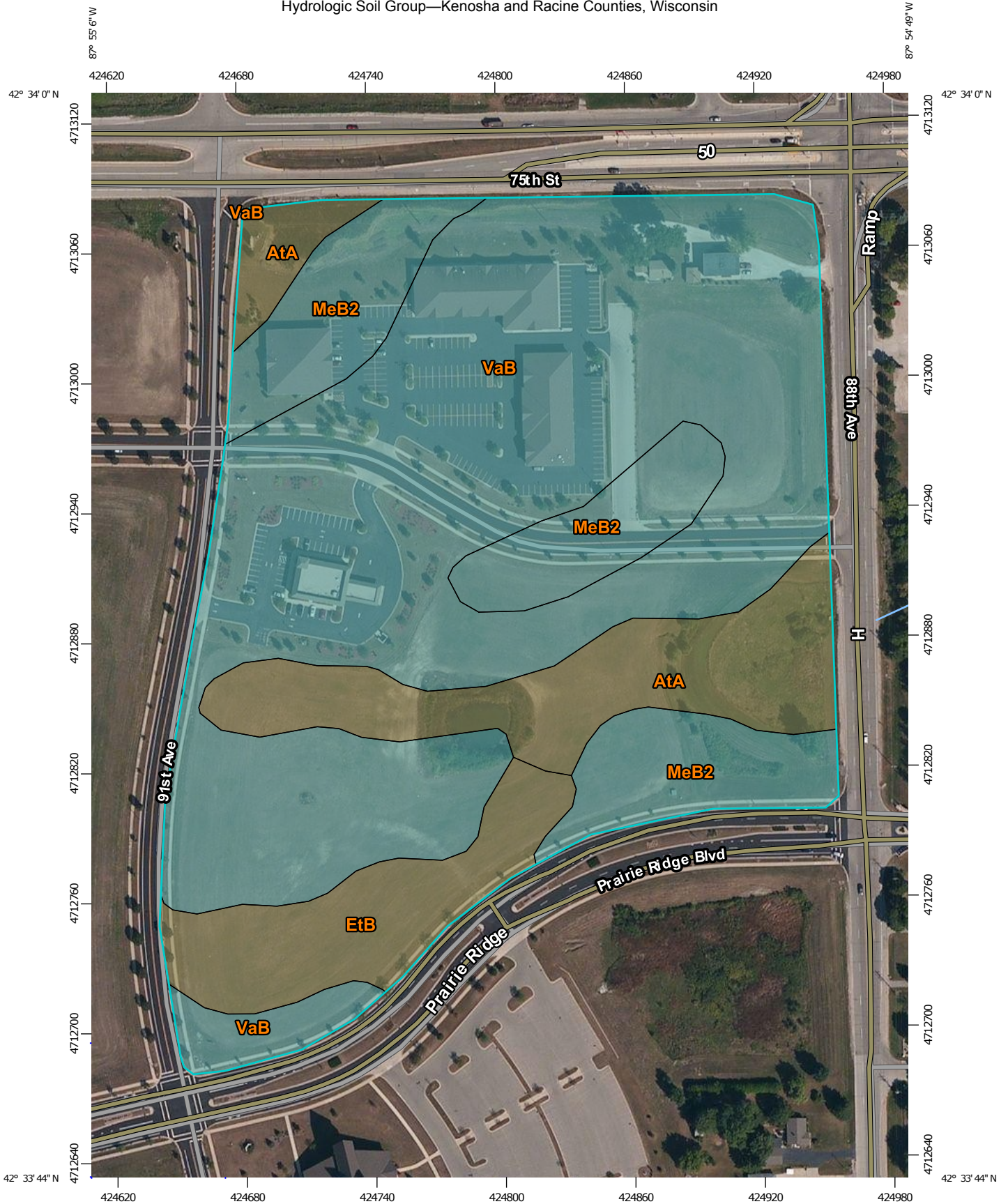
APPENDIX 2

Soil Map and Report

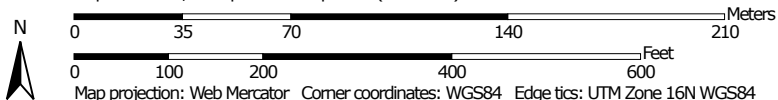
- USDA SOIL MAP
- GILES ENGINEERING ASSOC. SOIL BORING REPORT



Hydrologic Soil Group—Kenosha and Racine Counties, Wisconsin




Map Scale: 1:2,440 if printed on A portrait (8.5" x 11") sheet.



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available


Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Kenosha and Racine Counties, Wisconsin
 Survey Area Data: Version 10, Sep 18, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Apr 29, 2011—Mar 28, 2012

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Kenosha and Racine Counties, Wisconsin (WI601)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
AtA	Ashkum silty clay loam, 0 to 2 percent slopes	C/D	3.4	14.3%
EtB	Elliott silty clay loam, 2 to 6 percent slopes	C/D	2.1	8.6%
MeB2	Markham silt loam, 2 to 6 percent slopes, eroded	C	3.9	16.3%
VaB	Varna silt loam, 2 to 6 percent slopes	C	14.5	60.8%
Totals for Area of Interest			23.9	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

IMPORTANT

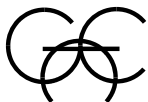
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Geotechnical Engineering Exploration and Analysis

**Proposed Kwik Trip No. 172
Highway 50 and Highway H
Pleasant Prairie, Wisconsin**

Prepared for:

**Kwik Trip, Inc.
La Crosse, Wisconsin**

**February 2, 2015
Project No. 1G-1412017**



GILES
ENGINEERING ASSOCIATES, INC.



GILES

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GEOTECHNICAL, ENVIRONMENTAL & CONSTRUCTION MATERIALS CONSULTANTS

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- Milwaukee, WI
- Orlando, FL

February 2, 2015

Kwik Trip, Inc.
P.O. Box 2107
1626 Oak Street
La Crosse, WI 54602

Attention: Mr. Troy Batzel

Subject: Geotechnical Engineering Exploration and Analysis
Proposed Kwik Trip No. 172
Highway 50 and Highway H
Pleasant Prairie, Wisconsin
Project No. 1G-1412017

Dear Mr. Batzel:

As requested, Giles Engineering Associates, Inc. conducted a *Geotechnical Engineering Exploration and Analysis* for the proposed project. The accompanying report describes the services that were conducted for the project and it provides geotechnical engineering-related findings, conclusions and recommendations that were derived from those services.

We sincerely appreciate the opportunity to provide geotechnical engineering consulting services for the proposed project. Please contact the undersigned if there are questions concerning the report or if we may be of further service.

Very truly yours,

GILES ENGINEERING ASSOCIATES, INC.


Joleen A. Opala
Project Manager


Paul J. Giese, P.E.
Geotechnical Division Manager



Distribution: Pioneer Environmental, Inc.
Attn: Mr. Joe Drapeau, P.G.
(1 unsecured PDF email: jdrapeau@pei-wisc.com)
(1 unsecured Figure 1 PDF; 1 unsecured Test Boring Logs PDF)

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PROPOSED KWIK TRIP No. 172
HIGHWAY 50 AND HIGHWAY H
PLEASANT PRAIRIE, WISCONSIN
PROJECT NO. 1G-1412017

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3.0	PROJECT DESCRIPTION	1
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Appendix A - Figure (1) and Test Boring Logs (7)

Appendix B - Field Procedures

Appendix C - Laboratory Testing and Classification

Appendix D - General Information and Important Information about Your Geotechnical Report

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GREEN – This site has been given a Green designation. No significant geotechnical concerns or problems are foreseen which are unusual or not typical to this general area.



GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS

PROPOSED KWIK TRIP No.172
HIGHWAY 50 AND HIGHWAY H
PLEASANT PRAIRIE, WISCONSIN
PROJECT NO. 1G-1412017

EXECUTIVE SUMMARY

This Executive Summary provides limited geotechnical information regarding the proposed project. Since this Executive Summary is exceedingly abbreviated, it must be read in complete context with the following report.

Subsurface Conditions

- Seven geotechnical test borings were performed at the site to explore the subsurface conditions. Approximately 6 to 12 inches of silty clay topsoil was at the ground surface of Test Borings B1 through B6. At Test Boring B7 about 6 inches of gravel fill was at the surface, which was underlain by organic clayey silt (buried topsoil). Existing fill soils consisting of a mix of silty clay and clayey silt were encountered at Test Boring B3 (SW Building area) to a depth of about 4 feet. No discernible fill soils were encountered at the remaining test boring locations. Native soils, below the above described ground surface materials and fill, consist of predominantly silty clay with trace sand and gravel. The native silty clay soils have a stiff to hard comparative consistency based on soil laboratory testing.
- Considering the soil coloration and natural moisture contents of the collected soil samples, it is estimated that the long-term hydrostatic water table was generally about 9 to 12 feet below-grade at the test borings when the Geotechnical Subsurface Exploration Program was conducted.

Foundations

- Based on the assumed floor and pavement surface elevations (given in the report), spread footing foundation systems bearing on suitable native soil and/or engineered fill placed continuous from a suitable bearing native soil sub-grade is recommended for the store, car wash, and canopy. Some over-excavation should be expected and budgeted for foundation construction considering the existing fill. The foundations are recommended to be designed using the standard Kwik Trip 2,000 psf maximum, net, allowable soil bearing capacity. A greater value for the allowable bearing capacity may be recommended by Giles if necessary for the foundation design.

Floor Slab

- Based on the assumed sub-grade elevation (given in the report), it is expected that site soil will be suitable to support ground-bearing floor slabs. Engineered fill that is selected, placed, and compacted according to this report could also support ground-bearing floor slabs. The finished floor of the convenience store and floor of the car wash facility are recommended to be at least 4 inches thick, based on a 100 psf floor load. A minimum 4-inch-thick aggregate base course and a vapor retarder are recommended to be below the ground floor slabs.

Underground Storage Tanks

- Based on the typical UST embedment depths (given in the report), significant dewatering is not anticipated to be necessary, unless water bearing granular soil lenses or layers are encountered within the predominant cohesive soil profile. The long-term hydrostatic water conditions must be considered for design and installation of underground storage tanks



EXECUTIVE SUMMARY (Continued)
PROJECT NO. 1G-1412017

(USTs) for the service station and the tanks must be ballasted to resist the buoyant forces of water. Because of the water conditions, the USTs are recommended to be designed assuming that the water will collect within backfill surrounding the USTs. Therefore, design precautions should be taken to prevent the USTs from “floating” when the USTs are low on fluids or empty.

Pavement

- Portland cement concrete pavement in accordance with the typical Kwik Trip plans is considered suitable for this site, with proper sub-grade preparation as described in the report.
- Hot-mix asphalt (HMA) pavement with an aggregate base course is considered a suitable alternate for pavement areas, with proper sub-grade preparation as described in the report.

Site Preparation / Construction Considerations

- At the north end of the site, adjacent to Highway 50, two residences were present. It is assumed that the existing residences contain basements. Following demolition and removal of the existing structures, the former residential basement areas are recommended to be properly backfilled with engineered fill and it is recommended that a qualified geotechnical engineer evaluate the subsurface conditions within the former building areas.
- A small modular block retaining wall was located along the southern edge of the property along 76th Street. The retaining wall may contain geogrids that extend from the back of the retaining wall into the property. Caution should be taken so that the existing wall is not disturbed during construction operations. We recommend the designer of the wall be contacted to determine if the wall is capable of accommodating the proposed construction.

GREEN – This site has been given a Green designation. No significant geotechnical concerns or problems are foreseen which are unusual or not typical to this general area.



GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS

PROPOSED KWIK TRIP No.172
HIGHWAY 50 AND HIGHWAY H
PLEASANT PRAIRIE, WISCONSIN
PROJECT NO. 1G-1412017

1.0 SCOPE OF SERVICES

This report provides the results of the *Geotechnical Engineering Exploration and Analysis* that Giles Engineering Associates, Inc. ("Giles") conducted regarding the proposed development. The *Geotechnical Engineering Exploration and Analysis* included several separate, but related, service areas referenced hereafter as the Geotechnical Subsurface Exploration Program, Geotechnical Laboratory Services, and Geotechnical Engineering Services. The scope of each service area was narrow and limited, as directed by our client and in consideration of the proposed project. The scope of each service area is briefly explained later.

Geotechnical engineering-related recommendations for design and construction of the foundations and ground-bearing floor slabs for the proposed structures are provided in this report. Geotechnical engineering-related recommendations are also provided for the proposed Underground Storage Tanks (USTs) and proposed parking lot pavement. Site preparation recommendations are also given; however, those recommendations are only preliminary since the means and methods of site preparation will depend on factors that were unknown when this report was prepared. Those factors include, but are not limited to, the weather before and during construction, subsurface conditions that are exposed during construction, and finalized details of the proposed development. Pioneer Environmental, Inc. is providing environmental services for the site.

2.0 SITE DESCRIPTION

The site is located south of Highway 50 (75th Street), west of Highway H (88th Avenue) and north of 76th Street, in Pleasant Prairie, Wisconsin. The geotechnical test borings (described later) were performed on January 13, 2015 and on the date the majority of the Kwik Trip development area was vacant and was generally snow covered. Weeds could be seen through the snow. At the north end of the site, adjacent to Highway 50, two residences were present. A small retaining wall was located along the southern edge of the property along 76th Street. The site is generally level with a strip shopping center to the west, but is higher in elevation than Highway C (88th Avenue) to the east. There was up to about 3± feet of elevation difference between the test boring locations.

3.0 PROJECT DESCRIPTION

It is understood that a Kwik Trip development is planned to be constructed at the site. The Kwik Trip development is planned to include a convenience store (Kwik Trip), a car wash facility, fuel pump islands with a canopy, USTs and a parking lot.

Convenience Store (Kwik Trip): It is understood that a typical Kwik Trip store consists of a single-story, wood-frame structure with a brick veneer. It is understood that the Kwik Trip building will not include a basement. The structure is assumed to be supported by exterior



bearing walls and interior columns. The maximum combined live and dead loads are assumed to be a maximum of 3,000 pounds per lineal foot (plf) on the walls and 30,000 pounds on the columns. It is understood that the typical Kwik Trip foundation system is designed for a 2,000 psf soil bearing capacity. It is understood that the ground-bearing floor is to be a concrete slab-on-grade. It is assumed that the maximum floor load will be 100 pounds per square foot (psf).

The store floor elevation was not provided to Giles; therefore, in order to conduct the geotechnical analysis and complete this report, it was necessary for Giles to assume that elevation. Based on the existing site grades, the store floor elevation was assumed to be El. 98. Based on the assumed store floor elevation, and considering the site topography when the test borings were performed, it is assumed that up to about 1 to 2± feet of new fill will be required to develop the finished floor of the store.

Car Wash Facility: The store will include a detached car wash facility. It is assumed that the car wash facility will be a single-story masonry structure with a steel-bar joist and metal deck roof system. It is understood that the structure will not include a basement or other below-grade areas. The structure is assumed to be supported by exterior bearing walls. The maximum combined live and dead loads are assumed to be 1,500 plf. It is understood that the floor is to be a ground-bearing concrete slab. It is assumed that the maximum floor load will be 100 psf.

The car wash floor elevation was not provided to Giles; therefore, in order to conduct the geotechnical analysis and complete this report, it was necessary for Giles to assume that elevation. The car wash floor elevation was assumed to be at El. 98. Based on the assumed car wash floor elevation, and considering the site topography when the test borings were performed, it is assumed that up to about 1½± feet of new fill will be required to develop the finished floor of the car wash.

Canopy: A canopy is planned to be constructed over the fuel pump islands. Based on previous information provided by the client, it is understood that the canopies will have metal decking and steel bar joists and will be column-supported. It is understood that a typical Kwik Trip canopy has dimensions of 40 feet by 120 feet and is supported on reinforced cast-in-place concrete, about 7½ feet square and 4 feet thick. It is assumed that the maximum foundation loads from columns will be about 50 kips. It is understood that Portland cement concrete pavement will be beneath the canopy areas.

Parking Lot: A parking lot is planned to be constructed at the site. It is assumed that the parking lot will include automobile parking stalls, automobile drive lanes, and possibly semi-trailer truck drive lanes and parking areas. It is understood that the typical Kwik Trip parking lot pavement consists predominantly of Portland cement concrete (PCC). Based on information provided by the client, it is understood that the typical Kwik Trip pavement consists of 6 inches of PCC in the parking lot and 8 inches of PCC over the underground storage tank areas.



The pavement surface elevations were not given to Giles; therefore, in order to conduct the geotechnical analysis and complete this report, it was necessary for Giles to assume those elevations. The pavement surface elevations were assumed to be between El. 95 and El. 98. Based on the assumed elevations, and considering the site topography when the test borings were performed, it is assumed that only minor grade changes (less than 2 feet) will be needed to establish the assumed pavement surface elevations.

Underground Storage Tanks (USTs): This project will include the installation of underground storage tanks (USTs) that will be located in the southwestern corner of the site. It is understood that the USTs typically have an 8 to 10-foot diameter with a 3 to 4-foot thick cover. The USTs are typically embedded 13 to 15 feet deep. Further details were not provided to Giles at the time of this analysis.

4.0 GEOTECHNICAL SUBSURFACE EXPLORATION PROGRAM

The purpose of the Geotechnical Subsurface Exploration Program was to explore the subsurface conditions by drilling seven geotechnical test borings at the site on January 13, 2015. The test borings were placed at locations directed by Pioneer Environmental, Inc. Test Boring B1 was 26 feet deep and Test Borings B2 through B7 were 21 feet deep, as planned. Test Boring B1 was located in the UST/canopy areas. Test Boring B2 was located in the canopy area. Test Borings B3 and B4 were located in the store area. Test Boring B5 was located in the car wash area. Test Borings B6 and B7 were located in the parking lot area. The test boring locations were positioned on-site relative to existing site features and by estimating right angles. The approximate test boring locations are shown on the *Test Boring Location Plan* (Figure 1) enclosed in Appendix A.

The ground surface elevations at the test borings were determined as part of the Geotechnical Subsurface Exploration Program using survey methods referenced to the temporary benchmark shown on the *Test Boring Location Plan* (Figure 1) enclosed in Appendix A. The test boring elevations are noted on the *Records of Subsurface Exploration* (Test Boring Logs) enclosed in Appendix A. The ground surface elevations are considered accurate within about one foot.

Samples were collected from the test borings, at certain depths, using a split-barrel sampler during Standard Penetration Testing (SPT), which is described in Appendix B, along with descriptions of other field procedures. Immediately after sampling, select portions of the SPT samples were retained in jars that were labeled at the site for identification. The retained samples were transported to Giles' geotechnical laboratory as part of the Geotechnical Subsurface Exploration Program.

5.0 GEOTECHNICAL LABORATORY SERVICES

The retained samples were classified using the descriptive terms and particle-size criteria shown on the *General Notes* in Appendix D, and by using the Unified Soil Classification System (ASTM D 2488-75) as a general guide. The classifications are shown on the *Records of*



Subsurface Exploration, along with horizontal lines that show estimated depths of material change. Field-related information pertaining to the test borings is also shown on the *Records of Subsurface Exploration*. For simplicity and abbreviation, terms and symbols are used on the *Records of Subsurface Exploration*; the terms and symbols are defined on the *General Notes*.

Unconfined compression, calibrated penetrometer resistance, and moisture content tests were performed on select cohesive soil samples to evaluate the soils general engineering properties. The test results are on the *Records of Subsurface Exploration*. Laboratory procedures are briefly described in Appendix C.

Petroleum-related odors were not noticed during classification of the retained samples. Nevertheless, as part of the Geotechnical Laboratory Services, the retained samples were screened with a Photoionization Detector (PID) to check for Volatile Organic Compound (VOC) vapors, such as vapors associated with gasoline. The results of the PID screening are on the *Records of Subsurface Exploration*. It should be noted that the PID screening results reported on the *Records of Subsurface Exploration* are lab screened values and may reflect differently from the field recorded values.

6.0 MATERIAL CONDITIONS

Since material sampling at the test borings was discontinuous, it was necessary for Giles to estimate conditions between sample intervals. The estimated conditions at the test borings are briefly discussed in this section and are described in more detail on the *Records of Subsurface Exploration*. Also, the conclusions and recommendations in this report are based on the estimated and encountered conditions.

6.1. Ground Surface Materials

Approximately 6 to 12 inches of silty clay topsoil was at the ground surface of Test Borings B1 through B6. At Test Boring B7 about 6 inches of gravel fill was at the surface, which was underlain by organic clayey silt (buried topsoil).

6.2. Fill

Existing fill soils consisting of a mix of silty clay and clayey silt were encountered at Test Boring B3 (SW Building area) to a depth of about 4 feet. No discernible fill soils were encountered at the remaining test boring locations.

6.3. Native Soil

Native soils, below the above described ground surface materials and fill, consist of predominantly silty clay with trace sand and gravel. The native silty clay soils have a stiff to hard comparative consistency based on soil laboratory testing.



7.0 GROUNDWATER CONDITIONS

No free water was encountered at the test boring locations during or upon completion of the drilling operations. However, considering the soil coloration and natural moisture contents of the collected soil samples, it is estimated that the water table was at a depth of about 9 to 12 feet below existing grade. Therefore, the water table was likely between about El. 86.3 to El. 88.8 at the test borings; those elevations are referenced to the temporary benchmark shown on Figure 1. Groundwater conditions will fluctuate and groundwater may become perched above the water table.

The estimated water table depth is only an approximation based on the relative and measured water content of the retained soil samples and the colors of the retained soil samples. The actual water table depth may be higher or lower than estimated. If a more precise depth estimate is needed, groundwater observation wells are recommended to be installed and observed at the site.

8.0 CONCLUSIONS AND RECOMMENDATIONS

GREEN – This site has been given a Green designation. No significant geotechnical concerns or problems are foreseen which are unusual or not typical to this general area.

8.1. Seismic Design Considerations

A soil Site Class C is recommended for seismic design. By definition, Site Class is based on the average properties of subsurface materials to a depth of 100 feet below the ground surface. Since 100-foot test borings were not requested or authorized for the project, it was necessary to estimate the Site Class based on the test borings, presumed area geology, and 1613.5.5 of the 2009 International Building Code.

8.2. Foundation Recommendations

It is assumed that the floor slab for the proposed convenience store and car wash facility will be at El. 98. It is assumed that the pavement surface grades will be between about El. 95 and El. 98 below the canopy. The foundation analysis was conducted using the assumed floor and pavement surface elevations. Based on the assumed elevations, spread footing foundation systems bearing on suitable native soil and/or engineered fill placed continuous from a suitable bearing native soil sub-grade is recommended for the buildings and canopy. Some over-excavation should be expected and budgeted for foundation construction considering the existing fill. The foundations are recommended to be designed using the standard Kwik Trip 2,000 psf maximum, net, allowable soil bearing capacity. A greater value for the allowable bearing capacity may be recommended by Giles if necessary for the foundation design. Strip footing pads are recommended to be at least 18 inches wide and isolated column pads are recommended to be at least 24 inches wide for geotechnical considerations, regardless of the



calculated foundation bearing stress. Foundation walls could be built of cast-in-place concrete or concrete masonry units. It is recommended that a structural engineer or architect provide specific foundation details including footing dimensions, reinforcing, and other details.

Lateral Load Design Parameters

It is assumed that foundations will bear on and retain soils consisting of silty clay. Recommended lateral load parameters are presented in the table below for silty clay. The active, passive, and at-rest earth pressure coefficients are provided to compute the magnitude of and resistance available to earth and structure loads, dependent on the amount of foundation movement that is anticipated to occur, or can be tolerated. The soil-concrete interface friction factor, $\tan \delta$, is provided to compute the resistance available to sliding along the soil-foundation contact. The recommended lateral load parameters do not include safety factors.

Lateral Load Design Parameters						
Soil Type	Moist Unit Weight	Friction Angle	Active Earth Pressure Coefficient (K_A)	Passive Earth Pressure Coefficient (K_p)	At-Rest Earth Pressure Coefficient (K_o)	Soil-Concrete Interface Friction Factor $\tan \delta$
Silty Clay	130 pcf	26 degrees	0.39	2.56	0.56	0.31

Embedment Depth

It is understood that a minimum 48-inch foundation depth is required by the local building code. Therefore, footings for perimeter walls and other exterior elements of the proposed structure are recommended to bear at least 48 inches below the finished ground grade. Interior footings could be directly below the floor slab assuming the building will be heated and support soil will not freeze. Footings in unheated areas should extend at least 54 inches below-ground. The foundation analysis was conducted assuming that the perimeter and interior foundations will bear at about 4½ feet and 2 feet below the store floor slab, respectively. The foundation analysis was conducted assuming that the perimeter foundations will bear at about 4½ feet below the car wash floor slab. The foundation analysis was conducted assuming that foundations for the canopy will bear at least 5 feet below the pavement surface elevations.

Suitable bearing native soils for direct foundation support and/or engineered fill subgrade and indirect foundation support are estimated to be available at the depths and elevations shown on the following table.



ESTIMATED DEPTH/ELEVATION OF SUITABLE BEARING NATIVE SOIL (a)		
Test Boring (Location)	Depth Below Current Surface (feet) (b)	Elevation (c)
B1 (USTs/Canopy)	1±	96.8±
B2 (Canopy)	1±	96.3±
B3 (SW Building Area)	4±	93.0
B4 (NE Building Area)	1±	95.1±
B5 (Car Wash)	1±	95.6±
(a) For direct foundation support and/or for placement of engineered fill or lean mix concrete, based on a 2,000 psf maximum, net allowable soil bearing capacity. (b) Referenced to the existing site grades during drilling. (c) Referenced to the temporary benchmark indicated on the Test Boring Location Plan (Figure 1) enclosed in Appendix A.		

Using the assumed convenience store floor elevation (El. 98) and foundation bearing depths (given above), it is assumed that the perimeter and interior footings will bear at about El. 93.5 and El. 96, respectively. After proper sub-grade preparation, the soil that was encountered at those assumed foundation bearing elevations at store-area Test Boring B4 is expected to be suitable to support spread footings designed for the standard Kwik Trip foundation system which is designed on the basis of a 2,000 psf foundation bearing pressure. A greater value for the allowable bearing capacity may be recommended by Giles if necessary for the foundation design. About ½-foot to 3 feet of over-excavation is expected to be needed for footings at store-area Test Boring B3 based on the assumed foundation bearing elevation due to existing fill. Some over-excavation should be expected and budgeted for foundation construction considering the existing fill.

Using the assumed car wash floor elevation (El. 98) and foundation bearing depth (given above), it is assumed that perimeter footings will bear at about El. 93.5. The soil that was encountered at that assumed foundation bearing elevation at car wash-area Test Boring B5 is expected to be suitable to support spread footings designed for the standard Kwik Trip foundation system which is designed on the basis of a 2,000 psf foundation bearing pressure. A greater value for the allowable bearing capacity may be recommended by Giles if necessary for the foundation design.

Using the assumed pavement surface elevations (El. 95 to El. 98) and the foundation bearing depth (given above), it is assumed that the canopy footings will bear at about El. 90 to El. 93, but may be deeper for structural requirements. The soil that was encountered at those assumed foundation bearing elevations at the canopy-area test borings (Test Borings B1 and B2) is expected to be suitable to support spread footings designed for the standard Kwik Trip foundation system which is designed on the basis of a 2,000 psf foundation bearing pressure. A greater value for the allowable bearing capacity may be recommended by Giles if necessary for the foundation design.



Foundation excavations are recommended to be dug with a smooth-edge backhoe bucket to develop a relatively undisturbed bearing grade. A toothed bucket will likely disturb foundation-bearing soil more than a smooth-edge bucket, thereby making soil at the excavation base more susceptible to saturation and instability, especially during adverse weather. It is critical that contractors protect foundation support soil and foundation construction materials (concrete and reinforcing). In addition, engineered fill is recommended to be placed and compacted in benched excavations along foundation walls immediately after the foundation walls are capable of supporting lateral pressures from backfill, compaction, and compaction equipment. Considering the clayey soils encountered, it is anticipated that forming of footings will not be necessary.

Foundation Support Soil Requirements

Footing pads are recommended to be directly and entirely supported by suitable bearing native soil and/or engineered fill placed continuous from a suitable bearing native soil sub-grade. Based on the recommended 2,000 psf bearing capacity, the unconfined compressive strength of cohesive (clayey) foundation support soil, such as silty clay, is recommended to be at least 1 ton per square foot (tsf). It is further recommended that the strength characteristics of soil within the entire foundation influence zone (determined by Giles during construction) meet or exceed the recommended values, unless Giles approves lesser values.

It is recommended that Giles evaluate foundation support soil immediately before foundation construction. The purpose of the recommended evaluation is to confirm that the foundations will be properly supported and confirm that the support soil is similar to the conditions described on the *Records of Subsurface Exploration*. In the event that another firm performs the recommended foundation evaluation of foundation support soil, they should use appropriate means and methods and Giles must be notified if the composition or strength characteristics of foundation support soil differ from those shown on the *Records of Subsurface Exploration* so that alterations to our recommendations can be made if needed.

Soil that is within the foundation influence zone but does not meet the recommended strength criteria (described above), or is otherwise unsuitable, is recommended to be replaced. Unsuitable bearing material could be replaced with engineered fill, such as well-graded aggregate or lean-mix Portland cement concrete (with a minimum 28-day compressive strength of 500 psi). Giles can provide recommendations pertaining to soil over-excavation and replacement at the time of construction. As an option to soil replacement, strip footing pads could be stepped or thickened to extend through unsuitable bearing materials and isolated column pads could be uniformly thickened. It is recommended that a structural engineer or architect provide the specific details of stepped or thickened footings.



Estimated Foundation Settlement

The post-construction total and differential settlements of spread footing foundations designed and constructed based on the recommendations of this report are estimated to be less than about 1.0 inch and 0.5 inch, respectively. The post-construction angular distortion is estimated to be less than about 0.002 inch per inch across a distance of 20 feet or more. Estimated settlements are based on the assumption that soils will be thoroughly tested and approved by a licensed qualified geotechnical engineer during foundation construction. The estimated settlements are considered within tolerable limits for the planned development provided they are properly considered in the architects and structural engineers design.

8.3. Ground Floor Slab Recommendations

It is understood that the finished floor of the store and the floor of the car wash facility are planned to be ground-bearing concrete slabs. Considering the assumed convenience store floor elevation and car wash floor elevation (El. 98), it is assumed that the base course sub-grade will be at El. 97.3±. Based on that sub-grade elevation and with proper sub-grade preparation, it is anticipated that site soil at store-area Test Boring B3 will be suitable for floor slab support. Based on that sub-grade elevation, it is assumed that up to about 1± foot of new fill will be needed to raise the building area at store-area Test Boring B4 and car wash-area Test Boring B5. Engineered fill is recommended to be selected, placed, and compacted according to this report.

Assuming a maximum 100 psf floor load, the finished floor of the store and floor of the car wash facility are recommended to be at least 4 inches thick. That recommended thickness assumes that the 28-day compressive strength of concrete will be at least 3,500 pounds per square inch (psi). The floor slab is recommended to be reinforced with welded wire fabric (6x6-W1.4xW1.4 WWF) to help control shrinkage cracking. In lieu of welded wire fabric, the floor slab concrete could alternatively contain an appropriate fiber mesh admixture, such as fiber mesh equivalent to the minimum recommended reinforcing, to help to control shrinkage cracking. It is recommended that a structural engineer or architect specify the floor slab thickness, reinforcing, joint details and other parameters.

A minimum 4-inch-thick base course is recommended to be directly below the ground floor slab of the store and car wash facility. The recommended base course will serve as a capillary break and help develop more uniform support. It is recommended that the base course consist of free-draining aggregate. Also, it is recommended that Giles test and approve base course aggregate before it is placed. Depending on aggregate gradation, a geotextile might need to be below the base course.

A minimum 10-mil vapor retarder is recommended to be directly below the floor slab or base course throughout the entire floor area. It is recommended that a structural engineer or architect specify the vapor retarder location with careful consideration of concrete curing and the effects of moisture on future flooring materials. The vapor retarder is recommended to be in



accordance with ASTM E 1745-97, which is entitled: *Standard Specification for Plastic Water Vapor Retarders Used in Contact with Soil or Granular Fill under Concrete Slabs*. If the base course has sharp, angular aggregate, protecting the retarder with a geotextile (or by other means) is recommended.

Portions of the floor slab, such as at doorways, entrance/exit vestibules, and the exterior sidewalks may be susceptible to frost heave movement during freezing weather. Additional insulation, installation of sub-grade drainage, replacement to the frost depth with non-frost-susceptible backfill, as described in Item No. 4 of the enclosed *Guide Specifications*, with water drainage provided, should be considered for these areas. Pavement and ground surface grades are recommended to be sloped away from the building and sidewalks, to reduce water infiltration and potential frost heave problems.

Estimated Floor Slab Settlement

The post-construction total and differential settlements of isolated floor slabs constructed in accordance with the recommendations of this report are estimated to be less than about 0.5 inch and 0.3 inch, respectively, over a distance of about 20 feet. Estimated settlements are based on the assumption that soils will be thoroughly tested and approved by a licensed qualified geotechnical engineer during floor slab construction. The estimated settlements are considered within tolerable limits for the planned development provided they are properly considered in the architects and structural engineers design.

8.4. UST Considerations

It is estimated that the long-term hydrostatic water table was generally about 9 to 12 feet below-grade at the test borings when the Geotechnical Subsurface Exploration Program was conducted. Based on the typical UST embedment depths (13 to 15 feet below the final grades) and considering the stiff to hard comparative consistency of the predominant silty clay soils encountered, significant dewatering is not anticipated to be necessary, unless water bearing granular soil lenses or layers are encountered within the predominant cohesive soil profile. The long-term hydrostatic water conditions must be considered for design and installation of underground storage tanks (USTs) for the service station and the tanks must be ballasted to resist the buoyant forces of water. Because of the water conditions, the USTs are recommended to be designed assuming that the water will collect within backfill surrounding the USTs. Therefore, design precautions should be taken to prevent the USTs from "floating" when the USTs are low on fluids or empty.

8.5. Pavement Recommendations

The pavement sections provided below are for light duty (mostly cars and occasional trucks) and heavy duty (mostly trucks and semi's) traffic loads and are based on a 20-year design period. The Portland cement concrete (PCC) pavement section alternate provided below is considered adequate for a maximum daily traffic volume consisting of about 50 ESALs. The



high stress PCC pavement section provided below is considered adequate for a maximum daily traffic volume consisting of 200 ESALs. The light duty HMA pavement section alternate is considered adequate for a maximum daily traffic volume consisting of five 18,000-pound equivalent single-axle loads (ESALs). The heavy duty HMA pavement section alternate is considered adequate for a maximum daily traffic volume consisting of about 40 ESALs. It is recommended that the project owner, developer, civil engineer and other design professionals involved with the project confirm that the selected traffic volumes are appropriate. Giles can provide final pavement recommendations when the actual traffic loads are determined. If the pavement sections are subject to traffic greater than assumed, increased maintenance and premature failure could occur.

A California Bearing Ratio (CBR) test is commonly used to determine soil support parameters for pavement design. Since a CBR test or other appropriate test was not authorized for this project, it was necessary for Giles to assume the CBR design value used to give pavement recommendations. The following pavement sections are based on an assumed CBR design value of 4. Engineered fill that is placed in proposed pavement areas is recommended to have a CBR value equal to or greater than 4 and the fill is recommended to be placed and compacted per the recommendations of this report.

The pavement recommendations assume that the pavement sub-grade will be prepared per the recommendations of this report, the base course will be properly drained, and a geotechnical engineer will observe and monitor pavement construction. The pavement was designed based on AASHTO design parameters for a twenty-year design period. Pavement maintenance along with a major rehabilitation after about 8 to 10 years should be expected. Local codes may require specific testing to determine soil support characteristics and/or minimum pavement section thickness might be required.

Portland Cement Concrete Pavement

The typical 8-inch thick Portland cement concrete (PCC) pavement section is recommended to be used over the tank areas and in other high stress areas such as the entrance/exit aprons, at the trash enclosure, and in areas where trucks will turn or will be parked. A minimum 6-inch thick compacted aggregate base course is recommended beneath the PCC pavement.

The typical 6-inch thick PCC pavement section is recommended to be used in the Kwik Trip parking lot. A minimum 6-inch thick compacted aggregate base course is recommended beneath the PCC pavement.

Concrete should have a minimum 28-day compressive strength of 4,000 psi with 4 to 7 percent air entrainment. Control joint spacing should be determined in accordance with the current ACI code. Expansion joints should be provided where pavement abuts fixed objects, such as the buildings and light poles. Materials and construction procedures for concrete pavement and the aggregate base course are recommended to be in accordance with Wisconsin DOT Standard Specifications Section 415 and Section 305, respectively.



Hot-Mix Asphalt Pavement Alternate

As an alternate to the planned PCC pavement, hot-mix asphalt could be used. The following table shows the thicknesses for the light duty and heavy duty pavement sections consisting of hot-mix asphalt (HMA) over an aggregate base course, along with the appropriate state highway specifications so that the proper materials are specified and used. The pavement sections are based upon the traffic volumes presented earlier in this report. If the pavement is subject to greater amounts of traffic, increased pavement maintenance and premature pavement failure should be expected. Local codes may require specific testing to determine soil support characteristics and/or minimum pavement section thicknesses.

Materials	Pavement Use		Wisconsin DOT Standard Specifications
	Light Duty	Heavy Duty	
Hot Mix Asphalt Surface Course	1½	2	Section 460
Hot Mix Asphalt Binder Course	2	2½	Section 460
Dense Graded Aggregate Base Course	8	10	Section 305, 1¼ inch Crushed Stone
Note: Mixture type E-0.3 is recommended for the light duty pavement section and mixture type E-1 is recommended for the heavy duty pavement section.			

8.6. Generalized Site Preparation Recommendations

This section deals with site preparation including preparation of floor slab, pavement, and engineered fill areas. The means and methods of site preparation will greatly depend on the weather conditions before and during construction, the subsurface conditions that are exposed during earthwork operations, and the finalized details of the proposed development. Therefore, only generalized site preparation recommendations are given.

In addition to being generalized, the following site preparation recommendations are abbreviated; the *Guide Specifications* in Appendix D gives further recommendations. The *Guide Specifications* should be read along with this section. Also, the *Guide Specifications* are recommended to be used as an aid to develop the project specifications.

Clearing, Grubbing and Stripping

Approximately 6 to 12 inches of silty clay topsoil was at the ground surface of Test Borings B1 through B6. Surface vegetation, trees and bushes (including root-balls), topsoil with adverse organic content, and otherwise unsuitable bearing materials are recommended to be removed



from the proposed building footprints, pavement area, and other structural areas. Clearing, grubbing and stripping should extend at least several feet beyond proposed development areas, where feasible.

At the north end of the site, adjacent to Highway 50, two residences were present. Site preparation will require complete removal and proper disposal of the existing construction, including all foundations, floor slabs, underground utilities that are not reused, underground hydraulic hoists, and other construction. Disposal of debris should be in accordance with local, state and federal regulations for the material type. It is possible, as an option, to leave portions of any remaining foundations in-place outside of the planned structure areas and in landscape areas, provided they are cut off at least 3 feet below the planned finished grade and any hollow cores are grouted solid. In addition, if floor slabs are encountered and it is desired to leave the slabs in-place in the planned parking area and landscape areas, the slabs should be at least 3 feet below the planned finished grade, perforated (broken) on a 2-foot grid, "seated" into the sub-grade for stability and covered with a minimum 12-inch-thick layer of well-graded, free-draining, granular material for drainage. It should be noted that any construction remnants left in-place may cause excavation difficulties for new utilities, landscape plantings, and/or future construction. All excavations must be backfilled with engineered fill. It is also expected to be necessary to bench into the surrounding soils, as noted in the *Guide Specifications* enclosed in Appendix D.

It is assumed that the existing residences contain basements. Following demolition and removal of the existing structures, the former residential basement areas are recommended to be properly backfilled with engineered fill and it is recommended that a qualified geotechnical engineer evaluate the subsurface conditions within the former building areas.

Existing Utilities

All existing utilities are recommended to be located, and any planned to be maintained should be relocated outside the proposed structure areas, if possible. Utilities that are not reused should be capped-off and removed or properly abandoned in-place in accordance with local codes and ordinances. The excavations for utilities to be removed that are in the influence zone of new construction are recommended to be backfilled with engineered fill placed under engineering controlled conditions. Underground utilities that are to be reused or abandoned in-place should be evaluated by a specialty contractor, and utility backfill should be evaluated by a geotechnical engineer, to determine their potential effect on the new development. Grading operations must be done carefully so that existing utilities are not damaged or disturbed. Utility invert elevations, depths and sizes should be checked relative to the planned foundation elevations to determine what specific concerns are present.



Proof-rolling and Fill Placement

After the recommended clearing, grubbing, and stripping, and once the site is cut (lowered) as needed, the sub-grade is recommended to be proof-rolled with a fully-loaded, tandem-axle dump truck or other suitable construction equipment to help locate unstable soil based on sub-grade deflection caused by the wheel loads of the proof-roll equipment. The entire site is recommended to be proof-rolled and, where feasible, proof-rolling should extend at least several feet beyond development areas. It is recommended that Giles observe proof-roll operations and evaluate the sub-grade stability based on those observations.

Soil that yields excessively or ruts during proof-rolling, or shows other signs of instability, is recommended to be replaced with engineered fill. As an option to replacement, unsuitable soil could be scarified to a sufficient depth (likely 6 to 12 inches, or more), moisture-conditioned (uniformly moistened or dried), and compacted to the required in-place density. Unsuitable soil could also be modified with hydrated lime or Portland cement, or mechanically stabilized with coarse aggregate and/or geosynthetics (geogrids or geotextiles). It is recommended that soil improvement recommendations be provided by Giles based on the conditions during construction.

The site is recommended to be raised, where necessary, to the planned finished grade with engineered fill immediately after the sub-grade is confirmed to be stable and suitable to support the proposed site improvements. Engineered fill is recommended to be placed in uniform, relatively thin layers (lifts). And, each layer of engineered fill is recommended to be compacted to at least 95 percent of the fill material's maximum dry density determined from the geotechnical test titled: *Test Methods for Laboratory Compaction Characteristics of Soil Using Standard Effort* (ASTM D698). That test is hereafter referenced as: *The Standard Proctor Compaction test*. As an exception, the in-place dry density of engineered fill for the top one foot of the pavement sub-grade is recommended to be compacted to at least 100 percent of the fill's maximum dry density. Item Nos. 4 and 5 of the *Guide Specifications* give more information pertaining to selection and compaction of engineered fill.

The water content of fill material is recommended to be uniform and within a narrow range of the optimum moisture content, as described in Item No. 5 of the *Guide Specifications*. The optimum moisture content is to be determined by the Standard Proctor Compaction test.

Engineered fill that does not meet the density and water content requirements is recommended to be replaced or scarified to a sufficient depth (likely 6 to 12 inches, or more), moisture-conditioned, and compacted to the required density. A subsequent lift of fill should only be placed after Giles confirms that the previous lift was properly placed and compacted. Sub-grade soil may need to be re-compacted immediately before construction since equipment traffic and adverse weather may reduce soil stability.



Use of Site Soil as Engineered Fill

Site soil that does not contain adverse organic content or other deleterious materials, as noted in the *Guide Specifications*, could be used as engineered fill. Considering the measured water contents of the tested soil samples, site soil may need to be moisture-conditioned prior to use as engineered fill. If construction is during adverse weather (discussed in the following section), drying site soil will likely not be feasible. In that case, aggregate fill (or other fill material with a low water-sensitivity) will likely need to be imported to the site. Additional recommendations regarding fill selection, placement and compaction are given in the *Guide Specifications*.

8.7. Generalized Construction Considerations

Excavation Stability

Excavations are recommended to be made in accordance with current OSHA excavation and trench safety standards, and other applicable requirements. Sides of excavations will need to be sloped or braced to maintain or develop a safe work environment. Temporary shoring must be designed according to applicable regulatory requirements. Contractors are responsible for excavation safety.

Adverse Weather

Site soil is moisture sensitive and will become unstable when exposed to adverse weather such as rain, snow, and freezing temperatures. Therefore, it might be necessary to remove or stabilize the upper 6 to 12 inches (or more) of soil due to adverse weather, which commonly occurs during late fall, winter, and early spring. At least some over-excavation and/or stabilization of unstable soil should be expected if construction is during or after adverse weather. Some over-excavation is expected to be needed even if construction is during favorable, dry weather considering the existing fill. Because site preparation is weather dependant, bids for site preparation, and other earthwork activities, should consider the time of year that construction will be conducted.

In an effort to protect soil from adverse weather, the site surface is recommended to be smoothly graded and contoured during construction to divert surface water away from construction areas. Also, contoured sub-grades are recommended to be rolled with a smooth-drum compactor, before precipitation, to “seal” the surface. Furthermore, construction traffic should be restricted to certain aggregate-covered areas in an effort to reduce traffic-related soil disturbance. Foundation, floor slab and pavement construction should begin immediately after suitable support is confirmed.

Dewatering

It is estimated that the long-term hydrostatic water table was generally about 9 to 12 feet below-grade at the test borings when the Geotechnical Subsurface Exploration Program was conducted. Therefore, the long-term hydrostatic water table was likely between about El. 86.3



and El. 88.8, referenced to the temporary benchmark shown on Figure 1. Based on the assumed store floor elevation (El. 98), car wash floor elevation (El. 98), and pavement surface grades (El. 95 to El. 98), it is expected that excavations for foundations and other earthwork operations, will be above the water table. Based on the typical UST embedment depths, significant dewatering is not anticipated to be necessary, unless water bearing granular soil lenses or layers are encountered within the predominant cohesive soil profile.

Some dewatering might be needed during construction due to precipitation or if perched water is encountered. Water that accumulates in construction areas is recommended to be removed from excavations and other construction areas, along with unstable soil as soon as possible. Filtered sump pumps, drawing water from sump pits excavated in the bottom of construction trenches, will likely be adequate to remove water that collects in shallow excavations. Excavated sump pits should be fully-lined with a geotextile and filled with open-graded, free-draining aggregate.

Existing Fill Considerations

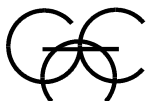
Existing fill was encountered at Test Boring B3. Questionable fill materials, if encountered, are recommended to be evaluated by Giles to determine if removal and replacement with engineered fill is necessary. Disposal of any unsuitable material should be in accordance with local, state and federal regulations for the material type. Alteration to the recommendations of this report may be needed, if conditions different than those noted on the *Records of Subsurface Exploration* are revealed.

Existing Retaining Wall Considerations

A small modular block retaining wall was located along the southern edge of the property along 76th Street. It is anticipated that geogrid reinforcing extends from behind the wall into the subject property. Caution should be taken so that the existing wall is not disturbed during construction operations. We recommend the designer of the wall be contacted to determine if the wall is capable of accommodating the proposed construction.

8.8. Recommended Construction Materials Testing Services

This report was prepared assuming that Giles will perform Construction Materials Testing (“CMT”) services during construction of the proposed development. In general, CMT services are recommended (and expected) to at least include observation and testing of: foundation, floor slab and pavement support soil; concrete; asphalt, and other construction materials. It might be necessary for Giles to provide supplemental geotechnical recommendations based on the results of CMT services and specific details of the project not known at this time.



9.0 BASIS OF REPORT

This report is strictly based on the project description given earlier in this report. Giles must be notified if any parts of the project description or our assumptions are not accurate so that this report can be amended, if needed. This report is based on the assumption that the facility will be designed and constructed according to the codes that govern construction at the site.

The conclusions and recommendations in this report are based on estimated subsurface conditions as shown on the *Records of Subsurface Exploration*. Giles must be notified if the subsurface conditions that are encountered during construction of the proposed development differ from those shown on the *Records of Subsurface Exploration* because this report will likely need to be revised. General comments and limitations of this report are given in the appendix.

The conclusions and recommendations presented in this report have been promulgated in accordance with generally accepted professional engineering practices in the field of geotechnical engineering. No other warranty is either expressed or implied.

1G-1412017 Report/14Geo04/jao



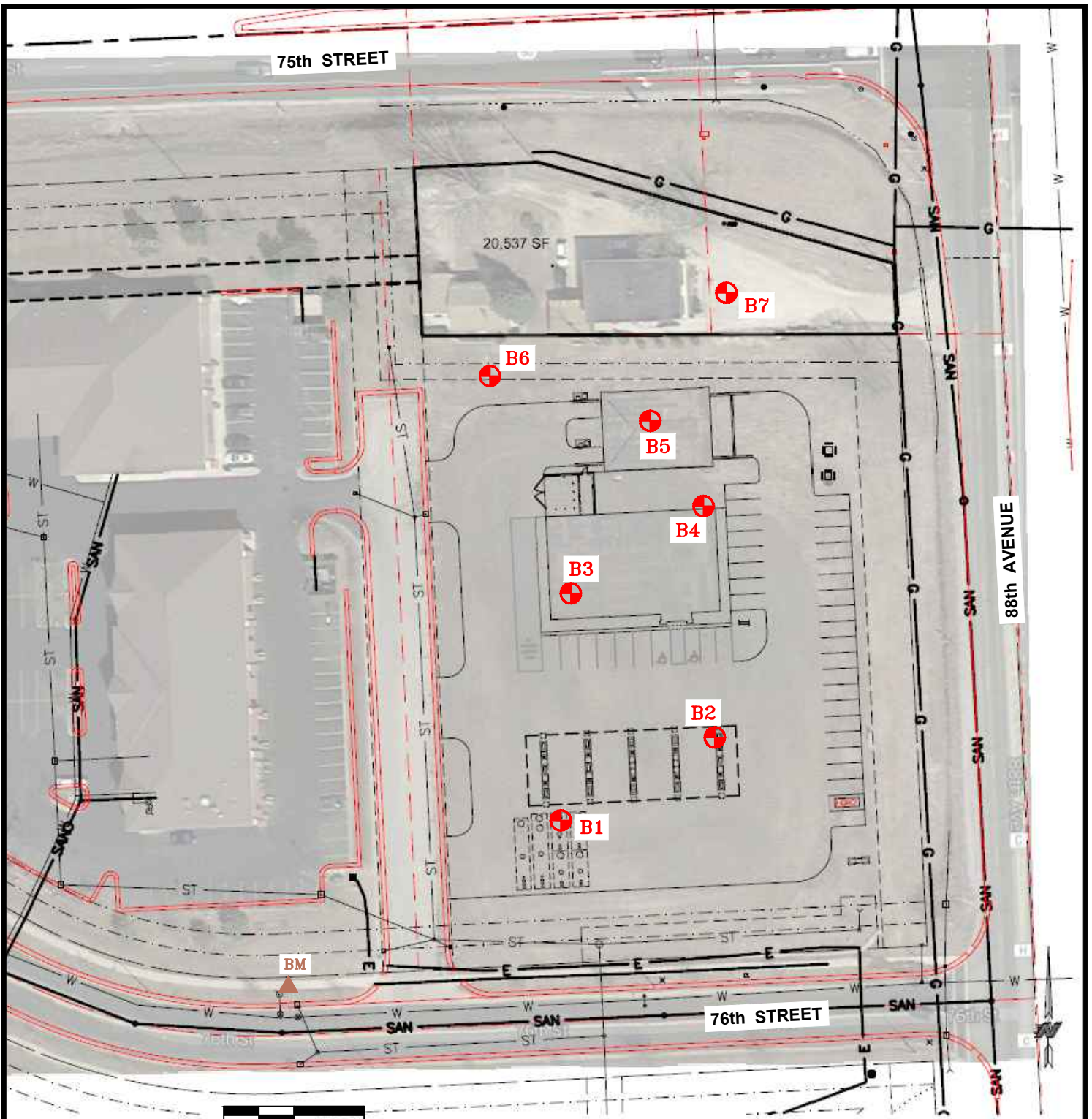
APPENDIX A

FIGURES AND TEST BORING LOGS

The Test Boring Location Plan contained herein was prepared based upon information supplied by *Giles'* client, or others, along with *Giles'* field measurements and observations. The diagram is presented for conceptual purposes only and is intended to assist the reader in report interpretation.

The Test Boring Logs and related information enclosed herein depict the subsurface (soil and water) conditions encountered at the specific boring locations on the date that the exploration was performed. Subsurface conditions may differ between boring locations and within areas of the site that were not explored with test borings. The subsurface conditions may also change at the boring locations over the passage of time.





0 40' 80'
 APPROXIMATE
 SCALE

LEGEND:

B1
 GEOTECHNICAL TEST BORING

BM
 BENCHMARK: TOP FLANGE OF
 FIRE HYDRANT.
 ASSUMED ELEVATION = 100.0'



NOTES:

- 1.) TEST BORING LOCATIONS ARE APPROXIMATE.
- 2.) BASE MAP DEVELOPED FROM THE "SITE PLAN"
 (SHEET SP5), DATED 9-4-14, PROVIDED BY THE CLIENT.

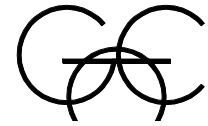


GILES ENGINEERING ASSOCIATES, INC.
 N8 W22350 JOHNSON DRIVE, SUITE A1
 WAUKESHA, WI 53186 (262)544-0118

FIGURE 1
 TEST BORING LOCATION PLAN
 PROPOSED KWIK TRIP No. 172
 HIGHWAY 50 AND HIGHWAY H
 PLEASANT PRAIRIE, WISCONSIN

DESIGNED	DRAWN	SCALE	DATE	REVISED
PJG	JSZ	approx. 1"=80'	01-16-15	--
PROJECT NO.: 1G-1412017			CAD No. 1g1412017-blp	

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
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BORING NO. & LOCATION: B1 (USTs/Canopy)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 97.8±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
12"± Black Organic Silty Clay (Topsoil) - Wet	0	1-SS	27		1.0		15	BDL*	16"± Frost
Brown mottled Silty Clay with Light Brown Calcareous inclusions, trace Sand and Gravel - Damp	1	2-SS	26	10.7	4.5+		12	BDL*	
	5	3-SS	35	7.0	4.5+		14	BDL*	
Brown and Gray mottled Silty Clay, trace Sand and Gravel - Moist	6	4-SS	32	7.6	4.5+		14	BDL*	
	10	5-SS	36		4.5+		14	BDL*	
Gray Silty Clay with Orange-Brown Silt inclusions, trace Sand and Gravel - Moist	15	6-SS	30	3.7	3.0		16	BDL*	
Gray Silty Clay, trace fine Sand and Gravel - Moist	20	7-SS	18					BDL*	(a)
	25	8-SS	32	4.1	4.4		16	BDL*	

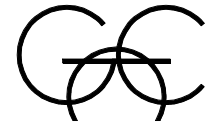
Boring Terminated at 26 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

WATER OBSERVATION DATA	REMARKS
WATER ENCOUNTERED DURING DRILLING: None	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values. (a) Poor sample recovery, auger sample collected
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: 24 ft.	
WATER LEVEL AFTER HOURS:	
CAVE DEPTH AFTER HOURS:	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
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BORING NO. & LOCATION: B2 (Canopy)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 97.3±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
8"± Black Organic Clayey Silt (Topsoil) - Moist	0	1-SS	27	2.8	3.8		15	BDL*	22"± Frost
Brown and Gray mottled Silty Clay, trace Sand and Gravel - Moist	1	2-SS	18	3.7	4.5+		17	BDL*	
Brown Silty Clay, trace Sand and Gravel - Moist	2								
Brown Silty Clay, trace Sand and Gravel - Moist	3								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	4	3-SS	14		3.1		25	BDL*	
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	5								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	6	4-SS	15		4.3		15	BDL*	
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	7								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	8	5-SS	25		4.5+		15	BDL*	
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	9								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	10								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	11								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	12								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	13								
Brown and Gray slightly mottled Silty Clay, trace Sand and Gravel - Moist	14								
Brown-Gray Silty Clay, trace Sand and Gravel - Moist	15	6-SS	28	5.9	4.5+		15	BDL*	
Brown-Gray Silty Clay, trace Sand and Gravel - Moist	16								
Brown-Gray Silty Clay, trace Sand and Gravel - Moist	17								
Brown-Gray Silty Clay, trace Sand and Gravel - Moist	18								
Brown-Gray Silty Clay, trace Sand and Gravel - Moist	19								
Gray Silty Clay, trace Sand - Moist	20	7-SS	21	2.5	2.6		16	BDL*	
Gray Silty Clay, trace Sand - Moist	21								

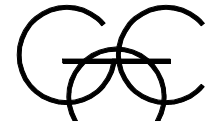
Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

	WATER OBSERVATION DATA	REMARKS
▽	WATER ENCOUNTERED DURING DRILLING: None	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.
▽	WATER LEVEL AFTER REMOVAL: None	
▨	CAVE DEPTH AFTER REMOVAL: 18 ft.	
▽	WATER LEVEL AFTER HOURS:	
▨	CAVE DEPTH AFTER HOURS:	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
Washington, D.C. Orlando

BORING NO. & LOCATION: B3 (SW Bldg Area)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 97.0±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
12"± Black Organic Clayey Silt (Topsoil Fill) - Wet		1-SS	15	3.3	4.4		20	BDL*	6"± Frost
Brown Silty Clay and Dark Brown Clayey Silt, little fine to coarse Gravel (Fill) - Moist		2-SS	28		1.4		17	BDL*	
Brown and Gray mottled Silty Clay with Light Brown Calcareous inclusions, trace Sand and Gravel - Damp	5	3-SS	28	5.1	4.5+		14	BDL*	
Brown-Gray Silty Clay, trace Sand and Gravel - Moist		4-SS	34	6.1	4.5+		15	BDL*	
Gray Silty Clay, trace Sand and Gravel - Moist	10	5-SS	28	3.8	3.8		14	BDL*	
	15	6-SS	19	2.0	2.3		15	BDL*	
	20	7-SS	15	2.3	2.3		15	BDL*	

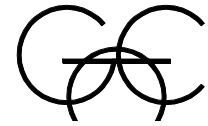
Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

WATER OBSERVATION DATA	REMARKS
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER ENCOUNTERED DURING DRILLING: None</div> </div>	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER REMOVAL: None</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▨</div> <div>CAVE DEPTH AFTER REMOVAL: 18 ft.</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER HOURS:</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▨</div> <div>CAVE DEPTH AFTER HOURS:</div> </div>	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
Washington, D.C. Orlando

BORING NO. & LOCATION: B4 (NE Bldg Area)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 96.1±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
6"± Black Organic Silty Clay (Topsoil) - Wet Brown and Gray mottled Silty Clay, trace Sand and Gravel - Damp		1-SS	17		2.2		17	BDL	6"± Frost
		2-SS	14	6.8	4.5+		14	BDL	
	5-	3-SS	25	5.7	4.5+		16	BDL	
		4-SS	45	7.6	4.5+		15	BDL	
Gray Silty Clay, trace Sand and Gravel - Moist	10-	5-SS	28	2.3	2.4		15	BDL	
	15-	6-SS	17	0.9	0.8		16	BDL	
	20-	7-SS	12	1.6	1.6		15	BDL	

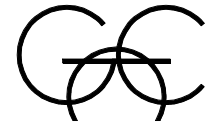
Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

WATER OBSERVATION DATA	REMARKS
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER ENCOUNTERED DURING DRILLING: None</div> </div>	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER REMOVAL: None</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▤</div> <div>CAVE DEPTH AFTER REMOVAL: 19 ft.</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER HOURS:</div> </div>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▤</div> <div>CAVE DEPTH AFTER HOURS:</div> </div>	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
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BORING NO. & LOCATION: B5 (Car Wash)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 96.6±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
11"± Black Organic Clayey Silt (Topsoil) - Wet	0	1-SS	7					BDL*	6"± Frost
Yellow-Brown, Brown and Gray mottled Silty Clay, trace Sand and Gravel - Moist	1	2-SS	15	2.3	3.2		17	BDL*	
	2								
	3								
	4								
	5	3-SS	11	3.7	3.7		21	BDL*	
	6								
	7								
	8								
Brown-Gray Silty Clay, trace fine Sand and Gravel - Moist	9	4-SS	15	3.6	3.5		19	BDL*	
	10								
	11								
	12								
	13								
	14								
	15	5-SS	34				17	BDL*	
	16								
	17								
	18								
	19								
	20	6-SS	16	2.4	2.0		16	BDL*	
	21								
	22								
	23								
	24								
	25								
	26								
	27								
	28								
	29								
	30	7-SS	19	2.3	2.5		16	BDL*	

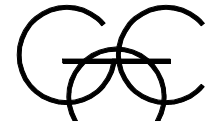
Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

	WATER OBSERVATION DATA	REMARKS
▽	WATER ENCOUNTERED DURING DRILLING: None	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.
▽	WATER LEVEL AFTER REMOVAL: None	
▨	CAVE DEPTH AFTER REMOVAL: 19 ft.	
▽	WATER LEVEL AFTER HOURS:	
▨	CAVE DEPTH AFTER HOURS:	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
Washington, D.C. Orlando

BORING NO. & LOCATION: B6 (Parking Lot)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 98.1±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
11"± Black Organic Silty Clay (Topsoil) - Wet		1-SS	5					BDL*	6.5"± Frost
Brown Silty Clay, trace Sand - Moist		2-SS	13		1.9		20	BDL*	
Brown and Gray mottled Silty Clay to Clayey Silt, trace Sand - Moist		3-SS	18	2.8	3.2		14	BDL*	
		4-SS	29	2.3	3.2		19	BDL*	
	5	5-SS	25		4.5+		19	BDL*	
Gray Clayey Silt with Orange Brown Silty inclusions, trace Sand - Moist		6-SS	20	2.8	3.0		16	BDL*	
Gray Silty Clay, trace Sand and Gravel - Moist		7-SS	23	2.8	2.6		16	BDL*	

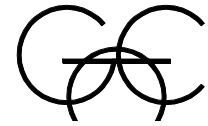
Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

WATER OBSERVATION DATA	REMARKS
<div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER ENCOUNTERED DURING DRILLING: None</div> </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER REMOVAL: None</div> </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▤</div> <div>CAVE DEPTH AFTER REMOVAL: 19 ft.</div> </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▽</div> <div>WATER LEVEL AFTER HOURS:</div> </div> <div style="display: flex; align-items: center;"> <div style="width: 20px; text-align: center;">▤</div> <div>CAVE DEPTH AFTER HOURS:</div> </div>	<p>*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.</p>

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

RECORD OF SUBSURFACE EXPLORATION



**GILES ENGINEERING
ASSOCIATES, INC.**
Milwaukee Los Angeles
Dallas Atlanta
Washington, D.C. Orlando

BORING NO. & LOCATION: B7 (Parking Lot)	PROJECT: Proposed Kwik Trip No. 172
SURFACE ELEVATION: 95.3±	PROJECT LOCATION: Highway 50 and Highway H
COMPLETION DATE: 1/13/15	Pleasant Prairie, Wisconsin
FIELD REPRESENTATIVE: Chip Rens	GILES PROJECT NUMBER: 1G-1412017

MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	q _u (tsf)	q _p (tsf)	q _s (tsf)	w (%)	PID	NOTES
6"± Gravel (Fill) over		1-SS	45	0.9	2.6		21	BDL*	20"± Frost
8"± Black Organic Clayey Silt (Topsoil) - Moist									
Brown and Gray mottled Silty Clay with Light Brown Calcareous inclusions, trace Silt and Gravel - Moist		2-SS	21	7.4	4.5+		15	BDL*	
Brown Silty Clay, trace Orange Brown Silt inclusions, trace Sand and Gravel - Moist	5	3-SS	22	4.5	4.5+		16	BDL*	
Brown-Gray Silty Clay, trace Sand and Gravel - Damp		4-SS	23	5.1	4.5+		15	BDL*	
Gray Silty Clay, trace Sand and Gravel - Moist	10	5-SS	21	3.0	3.0		15	BDL*	
	15	6-SS	12	2.1	2.2		15	BDL*	
	20	7-SS	19	3.3	3.1		15	BDL*	

Boring Terminated at 21 Feet

NORMAL BORING LOGS 1G1412017.GPJ GIL_CORP.GDT 1/30/15

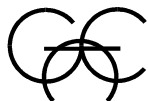
WATER OBSERVATION DATA	REMARKS
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> WATER ENCOUNTERED DURING DRILLING: None </div>	*PID = The reported PID screening results are lab screened values and may reflect differently from field recorded values.
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> WATER LEVEL AFTER REMOVAL: None </div>	
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> CAVE DEPTH AFTER REMOVAL: 19 ft. </div>	
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> WATER LEVEL AFTER HOURS: </div>	
<div style="display: flex; align-items: center;"> <div style="width: 15px; height: 15px; border: 1px solid black; margin-right: 5px;"></div> CAVE DEPTH AFTER HOURS: </div>	

Changes in strata indicated by the lines are approximate boundary between soil types. The actual transition may be gradual and may vary considerably between test borings. Location of test borings is shown on the Boring Location Plan.

APPENDIX B

FIELD PROCEDURES

The field operations were conducted in general accordance with the procedures recommended by the American Society for Testing and Materials (ASTM) designation D 420 entitled "Standard Guide for Sampling Rock and Rock" and/or other relevant specifications. Soil samples were preserved and transported to *Giles'* laboratory in general accordance with the procedures recommended by ASTM designation D 4220 entitled "Standard Practice for Preserving and Transporting Soil Samples." Brief descriptions of the sampling, testing and field procedures commonly performed by *Giles* are provided herein.



GENERAL FIELD PROCEDURES

Test Boring Elevations

The ground surface elevations reported on the Test Boring Logs are referenced to the assumed benchmark shown on the Boring Location Plan (Figure 1). Unless otherwise noted, the elevations were determined with a conventional hand-level and are accurate to within about 1 foot.

Test Boring Locations

The test borings were located on-site based on the existing site features and/or apparent property lines. Dimensions illustrating the approximate boring locations are reported on the Boring Location Plan (Figure 1).

Water Level Measurement

The water levels reported on the Test Boring Logs represent the depth of “free” water encountered during drilling and/or after the drilling tools were removed from the borehole. Water levels measured within a granular (sand and gravel) soil profile are typically indicative of the water table elevation. It is usually not possible to accurately identify the water table elevation with cohesive (clayey) soils, since the rate of seepage is slow. The water table elevation within cohesive soils must therefore be determined over a period of time with groundwater observation wells.

It must be recognized that the water table may fluctuate seasonally and during periods of heavy precipitation. Depending on the subsurface conditions, water may also become perched above the water table, especially during wet periods.

Borehole Backfilling Procedures

Each borehole was backfilled upon completion of the field operations. If potential contamination was encountered, and/or if required by state or local regulations, boreholes were backfilled with an “impervious” material (such as bentonite slurry). Borings that penetrated pavements, sidewalks, etc. were “capped” with Portland Cement concrete, asphaltic concrete, or a similar surface material. It must, however, be recognized that the backfill material may settle, and the surface cap may subside, over a period of time. Further backfilling and/or re-surfacing by *Giles’* client or the property owner may be required.



FIELD SAMPLING AND TESTING PROCEDURES

Auger Sampling (AU)

Soil samples are removed from the auger flights as an auger is withdrawn above the ground surface. Such samples are used to determine general soil types and identify approximate soil stratifications. Auger samples are highly disturbed and are therefore not typically used for geotechnical strength testing.

Split-Barrel Sampling (SS) – (ASTM D-1586)

A split-barrel sampler with a 2-inch outside diameter is driven into the subsoil with a 140-pound hammer free-falling a vertical distance of 30 inches. The summation of hammer-blows required to drive the sampler the final 12-inches of an 18-inch sample interval is defined as the “Standard Penetration Resistance” or N-value is an index of the relative density of granular soils and the comparative consistency of cohesive soils. A soil sample is collected from each SPT interval.

Shelby Tube Sampling (ST) – (ASTM D-1587)

A relatively undisturbed soil sample is collected by hydraulically advancing a thin-walled Shelby Tube sampler into a soil mass. Shelby Tubes have a sharp cutting edge and are commonly 2 to 5 inches in diameter.

Bulk Sample (BS)

A relatively large volume of soils is collected with a shovel or other manually-operated tool. The sample is typically transported to *Giles’* materials laboratory in a sealed bag or bucket.

Dynamic Cone Penetration Test (DC) – (ASTM STP 399)

This test is conducted by driving a 1.5-inch-diameter cone into the subsoil using a 15-pound steel ring (hammer), free-falling a vertical distance of 20 inches. The number of hammer-blows required to drive the cone 1¾ inches is an indication of the soil strength and density, and is defined as “N”. The Dynamic Cone Penetration test is commonly conducted in hand auger borings, test pits and within excavated trenches.

- Continued -



Ring-Lined Barrel Sampling – (ASTM D 3550)

In this procedure, a ring-lined barrel sampler is used to collect soil samples for classification and laboratory testing. This method provides samples that fit directly into laboratory test instruments without additional handling/disturbance.

Sampling and Testing Procedures

The field testing and sampling operations were conducted in general accordance with the procedures recommended by the American Society for Testing and Materials (ASTM) and/or other relevant specifications. Results of the field testing (i.e. N-values) are reported on the Test Boring Logs. Explanations of the terms and symbols shown on the logs are provided on the appendix enclosure entitled “General Notes”.



APPENDIX C

LABORATORY TESTING AND CLASSIFICATION

The laboratory testing was conducted under the supervision of a geotechnical engineer in accordance with the procedures recommended by the American Society for Testing and Materials (ASTM) and/or other relevant specifications. Brief descriptions of laboratory tests commonly performed by *Giles* are provided herein.



LABORATORY TESTING AND CLASSIFICATION

Photoionization Detector (PID)

In this procedure, soil samples are “scanned” in *Giles’* analytical laboratory using a Photoionization Detector (PID). The instrument is equipped with an 11.7 eV lamp calibrated to a Benzene Standard and is capable of detecting a minute concentration of **certain** Volatile Organic Compound (VOC) vapors, such as those commonly associated with petroleum products and some solvents. Results of the PID analysis are expressed in HNu (manufacturer’s) units rather than actual concentration.

Moisture Content (w) (ASTM D 2216)

Moisture content is defined as the ratio of the weight of water contained within a soil sample to the weight of the dry solids within the sample. Moisture content is expressed as a percentage.

Unconfined Compressive Strength (qu) (ASTM D 2166)

An axial load is applied at a uniform rate to a cylindrical soil sample. The unconfined compressive strength is the maximum stress obtained or the stress when 15% axial strain is reached, whichever occurs first.

Calibrated Penetrometer Resistance (qp)

The small, cylindrical tip of a hand-held penetrometer is pressed into a soil sample to a prescribed depth to measure the soils capacity to resist penetration. This test is used to evaluate unconfined compressive strength.

Vane-Shear Strength (qs)

The blades of a vane are inserted into the flat surface of a soil sample and the vane is rotated until failure occurs. The maximum shear resistance measured immediately prior to failure is taken as the vane-shear strength.

Loss-on-Ignition (ASTM D 2974; Method C)

The Loss-on-Ignition (L.O.I.) test is used to determine the organic content of a soil sample. The procedure is conducted by heating a dry soil sample to 440°C in order to burn-off or “ash” organic matter present within the sample. The L.O.I. value is the ratio of the weight loss due to ignition compared to the initial weight of the dry sample. L.O.I. is expressed as a percentage.



Particle Size Distribution (ASTB D 421, D 422, and D 1140)

This test is performed to determine the distribution of specific particle sizes (diameters) within a soil sample. The distribution of coarse-grained soil particles (sand and gravel) is determined from a “sieve analysis,” which is conducted by passing the sample through a series of nested sieves. The distribution of fine-grained soil particles (silt and clay) is determined from a “hydrometer analysis” which is based on the sedimentation of particles suspended in water.

Consolidation Test (ASTM D 2435)

In this procedure, a series of cumulative vertical loads are applied to a small, laterally confined soil sample. During each load increment, vertical compression (consolidation) of the sample is measured over a period of time. Results of this test are used to estimate settlement and time rate of settlement.

Classification of Samples

Each soil sample was visually-manually classified, based on texture and plasticity, in general accordance with the Unified Soil Classification System (ASTM D-2488-75). The classifications are reported on the Test Boring Logs.

Laboratory Testing

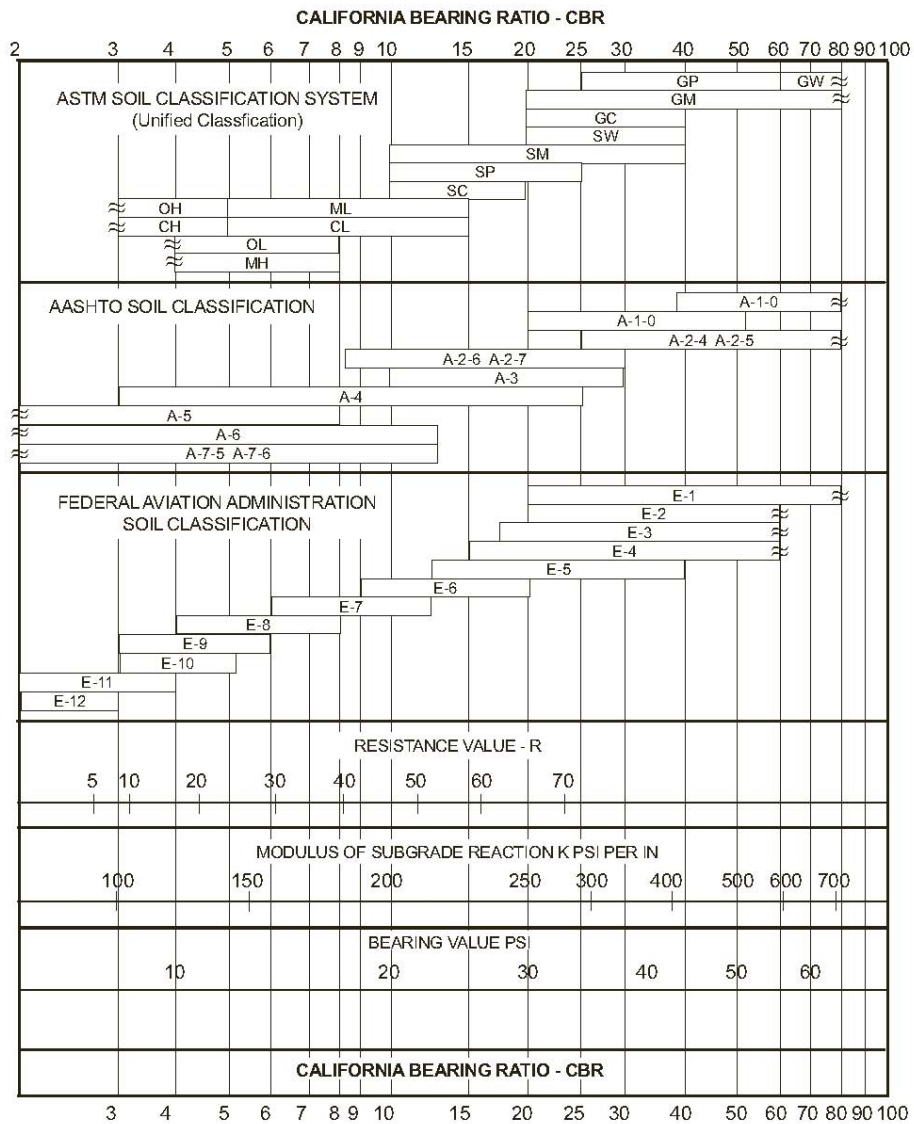
The laboratory testing operations were conducted in general accordance with the procedures recommended by the American Society for Testing and Materials (ASTM) and/or other relevant specifications. Results of the laboratory tests are provided on the Test Boring Logs or other appendix enclosures. Explanation of the terms and symbols used on the logs is provided on the appendix enclosure entitled “General Notes.”



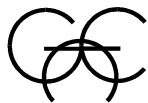
California Bearing Ratio (CBR) Test ASTM D-1833

The CBR test is used for evaluation of a soil subgrade for pavement design. The test consists of measuring the force required for a 3-square-inch cylindrical piston to penetrate 0.1 or 0.2 inch into a compacted soil sample. The result is expressed as a percent of force required to penetrate a standard compacted crushed stone.

Unless a CBR test has been specifically requested by the client, the CBR is estimated from published charts, based on soil classification and strength characteristics. A typical correlation chart is below.



APPENDIX D
GENERAL INFORMATION



GILES ENGINEERING ASSOCIATES, INC.

**GUIDE SPECIFICATIONS FOR SUBGRADE AND GRADE PREPARATION
FOR FILL, FOUNDATION, FLOOR SLAB AND PAVEMENT SUPPORT;
AND SELECTION, PLACEMENT AND COMPACTION OF FILL SOILS
USING STANDARD PROCTOR PROCEDURES**

1. Construction monitoring and testing of subgrades and grades for fill, foundation, floor slab and pavement; and fill selection, placement and compaction shall be performed by an experienced soils engineer and/or his representatives.
2. All compaction fill, subgrades and grades shall be (a) underlain by suitable bearing material; (b) free of all organic, frozen, or other deleterious material, and (c) observed, tested and approved by qualified engineering personnel representing an experienced soils engineer. Preparation of subgrades after stripping vegetation, organic or other unsuitable materials shall consist of (a) proof-rolling to detect soil, wet yielding soils or other unstable materials that must be undercut, (b) scarifying top 6 to 8 inches, (c) moisture conditioning the soils as required, and (d) recompaction to same minimum in-situ density required for similar materials indicated under Item 5. Note: compaction requirements for pavement subgrade are higher than other areas. Weather and construction equipment may damage compacted fill surface and reworking and retesting may be necessary to assure proper performance.
3. In overexcavation and fill areas, the compacted fill must extend (a) a minimum 1 foot lateral distance beyond the exterior edge of the foundation at bearing grade or pavement subgrade and down to compacted fill subgrade on a maximum 0.5(H):1(V) slope, (b) 1 foot above footing grade outside the building, and (c) to floor subgrade inside the building. Fill shall be placed and compacted on a 5(H):1(V) slope or must be stepped or benched as required to flatten if not specifically approved by qualified personnel under the direction of an experienced soil engineer.
4. The compacted fill materials shall be free of deleterious, organic, or frozen matter, shall contain no chemicals that may result in the material being classified as "contaminated", and shall be low-expansive with a maximum Liquid Limit (ASTM D-423) and Plasticity Index (ASTM D-424) of 30 and 15, respectively, unless specifically tested and found to have low expansive properties and approved by an experienced soils engineer. The top 12 inches of compacted fill should have a maximum 3-inch-particle diameter and all underlying compacted fill a maximum 6-inch-diameter unless specifically approved by an experienced soils engineer. All fill materials must be tested and approved under the direction of an experienced soils engineer prior to placement. If the fill is to provide non-frost susceptible characteristics, it must be classified as a clean GW, GP, SW or SP per the Unified Soil Classification System (ASTM D-2487).
5. For structural fill depths less than 20 feet, the density of the structural compacted fill and scarified subgrade and grades shall not be less than 95 percent of the maximum dry density as determined by Standard Proctor (ASTM-698) with the exception of the top 12 inches of pavement subgrade which shall have a minimum in-situ density of 100 percent of maximum dry density, or 5 percent higher than underlying fill materials. Where the structural fill depth is greater than 20 feet, the portions below 20 feet should have a minimum in-place density of 100 percent of its maximum dry density of 5 percent greater than the top 20 feet. The moisture content of cohesive soil shall not vary by more than -1 to +3 percent and granular soil ± 3 percent of the optimum when placed and compacted or recompacted, unless specifically recommended/approved by the soils engineer monitoring the placement and compaction. Cohesive soils with moderate to high expansion potentials ($PI > 15$) should, however, be placed, compacted and maintained prior to construction at a moisture content 3 ± 1 percent above optimum moisture content to limit further heave. The fill shall be placed in layers with a maximum loose thickness of 8 inches for foundations and 10 inches for floor slabs and pavement, unless specifically approved by the soils engineer taking into consideration the type of materials and compaction equipment being used. The compaction equipment should consist of suitable mechanical equipment specifically designed for soil compaction. Bulldozers or similar tracked vehicles are typically not suitable for compaction.
6. Excavation, filling, subgrade and grade preparation shall be performed in a manner and sequence that will provide drainage at all times and proper control of erosion. Precipitation, springs and seepage water encountered shall be pumped or drained to provide a suitable working platform. Springs or water seepage encountered during grading/foundation construction must be called to the soil engineer's attention immediately for possible construction procedure revision or inclusion of an underdrain system.
7. Non-structural fill adjacent to structural fill should typically be placed in unison to provide lateral support. Backfill along walls must be placed and compacted with care to ensure excessive unbalanced lateral pressures do not develop. The type of fill material placed adjacent to below-grade walls (i.e. basement walls and retaining walls) must be properly tested and approved by an experienced soils engineer with consideration for the lateral pressure used in the wall design.
8. Whenever, in the opinion of the soils engineer or the Owner's Representatives, an unstable condition is being created either by cutting or filling, the work shall not proceed into that area until an appropriate geotechnical exploration and analysis has been performed and the grading plan revised, if found necessary.



GENERAL COMMENTS

The soil samples obtained during the subsurface exploration will be retained for a period of thirty days. If no instructions are received, they will be disposed of at that time.

This report has been prepared exclusively for the client in order to aid in the evaluation of this property and to assist the architects and engineers in the design and preparation of the project plans and specifications. Copies of this report may be provided to contractor(s), with contract documents, to disclose information relative to this project. The report, however, has not been prepared to serve as the plans and specifications for actual construction without the appropriate interpretation by the project architect, structural engineer, and/or civil engineer. Reproduction and distribution of this report must be authorized by the client and *Giles*.

This report has been based on assumed conditions/characteristics of the proposed development where specific information was not available. It is recommended that the architect, civil engineer and structural engineer along with any other design professionals involved in this project carefully review these assumptions to ensure they are consistent with the actual planned development. When discrepancies exist, they should be brought to our attention to ensure they do not affect the conclusions and recommendations provided herein. The project plans and specifications may also be submitted to *Giles* for review to ensure that the geotechnical related conclusions and recommendations provided herein have been correctly interpreted.

The analysis of this site was based on a subsoil profile interpolated from a limited subsurface exploration. If the actual conditions encountered during construction vary from those indicated by the borings, *Giles* must be contacted immediately to determine if the conditions alter the recommendations contained herein.

The conclusions and recommendations presented in this report have been promulgated in accordance with generally accepted professional engineering practices in the field of geotechnical engineering. No other warranty is either expressed or implied.



CHARACTERISTICS AND RATINGS OF UNIFIED SOIL SYSTEM CLASSES FOR SOIL CONSTRUCTION *

Class	Compaction Characteristics	Max. Dry Density Standard Proctor (pcf)	Compressibility and Expansion	Drainage and Permeability	Value as an Embankment Material	Value as Subgrade When Not Subject to Frost	Value as Base Course	Value as Temporary Pavement	
								With Dust Palliative	With Bituminous Treatment
GW	Good: tractor, rubber-tired, steel wheel or vibratory roller	125-135	Almost none	Good drainage, pervious	Very stable	Excellent	Good	Fair to poor	Excellent
GP	Good: tractor, rubber-tired, steel wheel or vibratory roller	115-125	Almost none	Good drainage, pervious	Reasonably stable	Excellent to good	Poor to fair	Poor	
GM	Good: rubber-tired or light sheepsfoot roller	120-135	Slight	Poor drainage, semipervious	Reasonably stable	Excellent to good	Fair to poor	Poor	Poor to fair
GC	Good to fair: rubber-tired or sheepsfoot roller	115-130	Slight	Poor drainage, impervious	Reasonably stable	Good	Good to fair **	Excellent	Excellent
SW	Good: tractor, rubber-tired or vibratory roller	110-130	Almost none	Good drainage, pervious	Very stable	Good	Fair to poor	Fair to poor	Good
SP	Good: tractor, rubber-tired or vibratory roller	100-120	Almost none	Good drainage, pervious	Reasonably stable when dense	Good to fair	Poor	Poor	Poor to fair
SM	Good: rubber-tired or sheepsfoot roller	110-125	Slight	Poor drainage, impervious	Reasonably stable when dense	Good to fair	Poor	Poor	Poor to fair
SC	Good to fair: rubber-tired or sheepsfoot roller	105-125	Slight to medium	Poor drainage, impervious	Reasonably stable	Good to fair	Fair to poor	Excellent	Excellent
ML	Good to poor: rubber-tired or sheepsfoot roller	95-120	Slight to medium	Poor drainage, impervious	Poor stability, high density required	Fair to poor	Not suitable	Poor	Poor
CL	Good to fair: sheepsfoot or rubber-tired roller	95-120	Medium	No drainage, impervious	Good stability	Fair to poor	Not suitable	Poor	Poor
OL	Fair to poor: sheepsfoot or rubber-tired roller	80-100	Medium to high	Poor drainage, impervious	Unstable, should not be used	Poor	Not suitable	Not suitable	Not suitable
MH	Fair to poor: sheepsfoot or rubber-tired roller	70-95	High	Poor drainage, impervious	Poor stability, should not be used	Poor	Not suitable	Very poor	Not suitable
CH	Fair to poor: sheepsfoot roller	80-105	Very high	No drainage, impervious	Fair stability, may soften on expansion	Poor to very poor	Not suitable	Very poor	Not suitable
OH	Fair to poor: sheepsfoot roller	65-100	High	No drainage, impervious	Unstable, should not be used	Very poor	Not suitable	Not suitable	Not suitable
Pt	Not suitable		Very high	Fair to poor drainage	Should not be used	Not suitable	Not suitable	Not suitable	Not suitable

* "The Unified Classification: Appendix A - Characteristics of Soil, Groups Pertaining to Roads and Airfields, and Appendix B - Characteristics of Soil Groups Pertaining to Embankments and Foundations," Technical Memorandum 357, U.S. Waterways Experiment Station, Vicksburg, 1953.

** Not suitable if subject to frost.



UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D-2487)

Major Divisions		Group Symbols	Typical Names	Laboratory Classification Criteria				
Coarse-grained soils (more than half of material is larger than No. 200 sieve size)	Gravels (More than half of coarse fraction is larger than No. 4 sieve size)	Clean gravels (little or no fines)	GW	Well-graded gravels, gravel-sand mixtures, little or no fines	Determine percentages of sand and gravel from grain-size curve. Depending on percentage of fines (fraction smaller than No. 200 sieve size), coarse-grained soils are classified as follows: Less than 5 percent: GW, GP, SW, SP More than 12 percent: GM, GC, SM, SC Borderline cases requiring dual symbols ^b	$C_u = \frac{D_{60}}{D_{10}}$ greater than 4; $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ between 1 and 3		
		Poorly graded gravels, gravel-sand mixtures, little or no fines	GP			Not meeting all gradation requirements for GW		
		Gravels with fines (appreciable amount of fines)	GM ^a	d		Silty gravels, gravel-sand-silt mixtures	Atterberg limits below "A" line or P.I. less than 4	Limits plotting within shaded area, above "A" line with P.I. between 4 and 7 are <i>borderline</i> cases requiring use of dual symbols
			u				Atterberg limits above "A" line or P.I. greater than 7	
	GC		Clayey gravels, gravel-sand-clay mixtures					
	Sands (More than half of coarse fraction is smaller than No. 4 sieve size)	Clean sands (Little or no fines)	SW	Well-graded sands, gravelly sands, little or no fines		$C_u = \frac{D_{60}}{D_{10}}$ greater than 4; $C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}}$ between 1 and 3		
			SP	Poorly graded sands, gravelly sands, little or no fines		Not meeting all gradation requirements for SW		
		Sands with fines (Appreciable amount of fines)	SM ^a	d		Silty sands, sand-silt mixtures	Atterberg limits below "A" line or P.I. less than 4	Limits plotting within shaded area, above "A" line with P.I. between 4 and 7 are <i>borderline</i> cases requiring use of dual symbols
			u				Atterberg limits above "A" line or P.I. greater than 7	
		SC		Clayey sands, sand-clay mixtures				
Fine-grained soils (More than half material is smaller than No. 200 sieve size)		Silt and clays (Liquid limit less than 50)	ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity				
	CL		Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays					
	OL		Organic silts and organic silty clays of low plasticity					
	Silt and clays (Liquid limit greater than 50)	MH	Inorganic silts, mica-ceous or diatomaceous fine sandy or silty soils, elastic silts					
		CH	Inorganic clays of high plasticity, fat clays					
		OH	Organic clays of medium to high plasticity, organic silts					
	Highly organic soils	Pt	Peat and other highly organic soils					

^a Division of GM and SM groups into subdivisions of d and u are for roads and airfields only. Subdivision is based on Atterberg limits, suffix d used when L.L. is 28 or less and the P.I. is 6 or less; the suffix u is used when L.L. is greater than 28.

^b Borderline classifications, used for soils possessing characteristics of two groups, are designated by combinations of group symbols. For example GW-GC, well-graded gravel-sand mixture with clay binder.

GENERAL NOTES

SAMPLE IDENTIFICATION

All samples are visually classified in general accordance with the Unified Soil Classification System (ASTM D-2487-75 or D-2488-75)

DESCRIPTIVE TERM (% BY DRY WEIGHT)

Trace:	1-10%
Little:	11-20%
Some:	21-35%
And/Adjective	36-50%

PARTICLE SIZE (DIAMETER)

Boulders:	8 inch and larger
Cobbles:	3 inch to 8 inch
Gravel:	coarse - ¾ to 3 inch fine – No. 4 (4.76 mm) to ¾ inch
Sand:	coarse – No. 4 (4.76 mm) to No. 10 (2.0 mm) medium – No. 10 (2.0 mm) to No. 40 (0.42 mm) fine – No. 40 (0.42 mm) to No. 200 (0.074 mm)
Silt:	No. 200 (0.074 mm) and smaller (non-plastic)
Clay:	No 200 (0.074 mm) and smaller (plastic)

SOIL PROPERTY SYMBOLS

Dd:	Dry Density (pcf)
LL:	Liquid Limit, percent
PL:	Plastic Limit, percent
PI:	Plasticity Index (LL-PL)
LOI:	Loss on Ignition, percent
Gs:	Specific Gravity
K:	Coefficient of Permeability
w:	Moisture content, percent
qp:	Calibrated Penetrometer Resistance, tsf
qs:	Vane-Shear Strength, tsf
qu:	Unconfined Compressive Strength, tsf
qc:	Static Cone Penetrometer Resistance (correlated to Unconfined Compressive Strength, tsf)
PID:	Results of vapor analysis conducted on representative samples utilizing a Photoionization Detector calibrated to a benzene standard. Results expressed in HNU-Units. (BDL=Below Detection Limit)
N:	Penetration Resistance per 12 inch interval, or fraction thereof, for a standard 2 inch O.D. (1⅜ inch I.D.) split spoon sampler driven with a 140 pound weight free-falling 30 inches. Performed in general accordance with Standard Penetration Test Specifications (ASTM D-1586). N in blows per foot equals sum of N-Values where plus sign (+) is shown.
Nc:	Penetration Resistance per 1¼ inches of Dynamic Cone Penetrometer. Approximately equivalent to Standard Penetration Test N-Value in blows per foot.
Nr:	Penetration Resistance per 12 inch interval, or fraction thereof, for California Ring Sampler driven with a 140 pound weight free-falling 30 inches per ASTM D-3550. Not equivalent to Standard Penetration Test N-Value.

DRILLING AND SAMPLING SYMBOLS

SS:	Split-Spoon
ST:	Shelby Tube – 3 inch O.D. (except where noted)
CS:	3 inch O.D. California Ring Sampler
DC:	Dynamic Cone Penetrometer per ASTM Special Technical Publication No. 399
AU:	Auger Sample
DB:	Diamond Bit
CB:	Carbide Bit
WS:	Wash Sample
RB:	Rock-Roller Bit
BS:	Bulk Sample
Note:	Depth intervals for sampling shown on Record of Subsurface Exploration are not indicative of sample recovery, but position where sampling initiated

SOIL STRENGTH CHARACTERISTICS

COHESIVE (CLAYEY) SOILS

COMPARATIVE CONSISTENCY	BLOWS PER FOOT (N)	UNCONFINED COMPRESSIVE STRENGTH (TSF)
Very Soft	0 - 2	0 - 0.25
Soft	3 - 4	0.25 - 0.50
Medium Stiff	5 - 8	0.50 - 1.00
Stiff	9 - 15	1.00 - 2.00
Very Stiff	16 - 30	2.00 - 4.00
Hard	31+	4.00+

NON-COHESIVE (GRANULAR) SOILS

RELATIVE DENSITY	BLOWS PER FOOT (N)
Very Loose	0 - 4
Loose	5 - 10
Firm	11 - 30
Dense	31 - 50
Very Dense	51+

DEGREE OF PLASTICITY	PI	DEGREE OF EXPANSIVE POTENTIAL	PI
None to Slight	0 - 4	Low	0 - 15
Slight	5 - 10	Medium	15 - 25
Medium	11 - 30	High	25+
High to Very High	31+		



Important Information About Your Geotechnical Engineering Report

Subsurface problems are a principal cause of construction delays, cost overruns, claims, and disputes.

The following information is provided to help you manage your risks.

Geotechnical Services Are Performed for Specific Purposes, Persons, and Projects

Geotechnical engineers structure their services to meet the specific needs of their clients. A geotechnical engineering study conducted for a civil engineer may not fulfill the needs of a construction contractor or even another civil engineer. Because each geotechnical engineering study is unique, each geotechnical engineering report is unique, prepared *solely* for the client. No one except you should rely on your geotechnical engineering report without first conferring with the geotechnical engineer who prepared it. *And no one — not even you — should apply the report for any purpose or project except the one originally contemplated.*

Read the Full Report

Serious problems have occurred because those relying on a geotechnical engineering report did not read it all. Do not rely on an executive summary. Do not read selected elements only.

A Geotechnical Engineering Report Is Based on A Unique Set of Project-Specific Factors

Geotechnical engineers consider a number of unique, project-specific factors when establishing the scope of a study. Typical factors include: the client's goals, objectives, and risk management preferences; the general nature of the structure involved, its size, and configuration; the location of the structure on the site; and other planned or existing site improvements, such as access roads, parking lots, and underground utilities. Unless the geotechnical engineer who conducted the study specifically indicates otherwise, do not rely on a geotechnical engineering report that was:

- not prepared for you,
- not prepared for your project,
- not prepared for the specific site explored, or
- completed before important project changes were made.

Typical changes that can erode the reliability of an existing geotechnical engineering report include those that affect:

- the function of the proposed structure, as when it's changed from a parking garage to an office building, or from a light industrial plant to a refrigerated warehouse,

- elevation, configuration, location, orientation, or weight of the proposed structure,
- composition of the design team, or
- project ownership.

As a general rule, *always* inform your geotechnical engineer of project changes—even minor ones—and request an assessment of their impact. *Geotechnical engineers cannot accept responsibility or liability for problems that occur because their reports do not consider developments of which they were not informed.*

Subsurface Conditions Can Change

A geotechnical engineering report is based on conditions that existed at the time the study was performed. *Do not rely on a geotechnical engineering report* whose adequacy may have been affected by: the passage of time; by man-made events, such as construction on or adjacent to the site; or by natural events, such as floods, earthquakes, or groundwater fluctuations. *Always* contact the geotechnical engineer before applying the report to determine if it is still reliable. A minor amount of additional testing or analysis could prevent major problems.

Most Geotechnical Findings Are Professional Opinions

Site exploration identifies subsurface conditions only at those points where subsurface tests are conducted or samples are taken. Geotechnical engineers review field and laboratory data and then apply their professional judgment to render an opinion about subsurface conditions throughout the site. Actual subsurface conditions may differ—sometimes significantly—from those indicated in your report. Retaining the geotechnical engineer who developed your report to provide construction observation is the most effective method of managing the risks associated with unanticipated conditions.

A Report's Recommendations Are *Not* Final

Do not overrely on the construction recommendations included in your report. *Those recommendations are not final*, because geotechnical engineers develop them principally from judgment and opinion. Geotechnical engineers can finalize their recommendations only by observing actual

subsurface conditions revealed during construction. *The geotechnical engineer who developed your report cannot assume responsibility or liability for the report's recommendations if that engineer does not perform construction observation.*

A Geotechnical Engineering Report Is Subject to Misinterpretation

Other design team members' misinterpretation of geotechnical engineering reports has resulted in costly problems. Lower that risk by having your geotechnical engineer confer with appropriate members of the design team after submitting the report. Also retain your geotechnical engineer to review pertinent elements of the design team's plans and specifications. Contractors can also misinterpret a geotechnical engineering report. Reduce that risk by having your geotechnical engineer participate in prebid and preconstruction conferences, and by providing construction observation.

Do Not Redraw the Engineer's Logs

Geotechnical engineers prepare final boring and testing logs based upon their interpretation of field logs and laboratory data. To prevent errors or omissions, the logs included in a geotechnical engineering report should *never* be redrawn for inclusion in architectural or other design drawings. Only photographic or electronic reproduction is acceptable, *but recognize that separating logs from the report can elevate risk.*

Give Contractors a Complete Report and Guidance

Some owners and design professionals mistakenly believe they can make contractors liable for unanticipated subsurface conditions by limiting what they provide for bid preparation. To help prevent costly problems, give contractors the complete geotechnical engineering report, *but* preface it with a clearly written letter of transmittal. In that letter, advise contractors that the report was not prepared for purposes of bid development and that the report's accuracy is limited; encourage them to confer with the geotechnical engineer who prepared the report (a modest fee may be required) and/or to conduct additional study to obtain the specific types of information they need or prefer. A prebid conference can also be valuable. *Be sure contractors have sufficient time to perform additional study.* Only then might you be in a position to give contractors the best information available to you, while requiring them to at least share some of the financial responsibilities stemming from unanticipated conditions.

Read Responsibility Provisions Closely

Some clients, design professionals, and contractors do not recognize that geotechnical engineering is far less exact than other engineering disciplines. This lack of understanding has created unrealistic expectations that

have led to disappointments, claims, and disputes. To help reduce the risk of such outcomes, geotechnical engineers commonly include a variety of explanatory provisions in their reports. Sometimes labeled "limitations" many of these provisions indicate where geotechnical engineers' responsibilities begin and end, to help others recognize their own responsibilities and risks. *Read these provisions closely.* Ask questions. Your geotechnical engineer should respond fully and frankly.

Geoenvironmental Concerns Are Not Covered

The equipment, techniques, and personnel used to perform a *geoenvironmental* study differ significantly from those used to perform a *geotechnical* study. For that reason, a geotechnical engineering report does not usually relate any geoenvironmental findings, conclusions, or recommendations; e.g., about the likelihood of encountering underground storage tanks or regulated contaminants. *Unanticipated environmental problems have led to numerous project failures.* If you have not yet obtained your own geoenvironmental information, ask your geotechnical consultant for risk management guidance. *Do not rely on an environmental report prepared for someone else.*

Obtain Professional Assistance To Deal with Mold

Diverse strategies can be applied during building design, construction, operation, and maintenance to prevent significant amounts of mold from growing on indoor surfaces. To be effective, all such strategies should be devised for the *express purpose* of mold prevention, integrated into a comprehensive plan, and executed with diligent oversight by a professional mold prevention consultant. Because just a small amount of water or moisture can lead to the development of severe mold infestations, a number of mold prevention strategies focus on keeping building surfaces dry. While groundwater, water infiltration, and similar issues may have been addressed as part of the geotechnical engineering study whose findings are conveyed in this report, the geotechnical engineer in charge of this project is not a mold prevention consultant; ***none of the services performed in connection with the geotechnical engineer's study were designed or conducted for the purpose of mold prevention. Proper implementation of the recommendations conveyed in this report will not of itself be sufficient to prevent mold from growing in or on the structure involved.***

Rely on Your ASFE-Member Geotechnical Engineer for Additional Assistance

Membership in ASFE/The Best People on Earth exposes geotechnical engineers to a wide array of risk management techniques that can be of genuine benefit for everyone involved with a construction project. Confer with you ASFE-member geotechnical engineer for more information.



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Geotechnical, Environmental & Construction Materials Consultants



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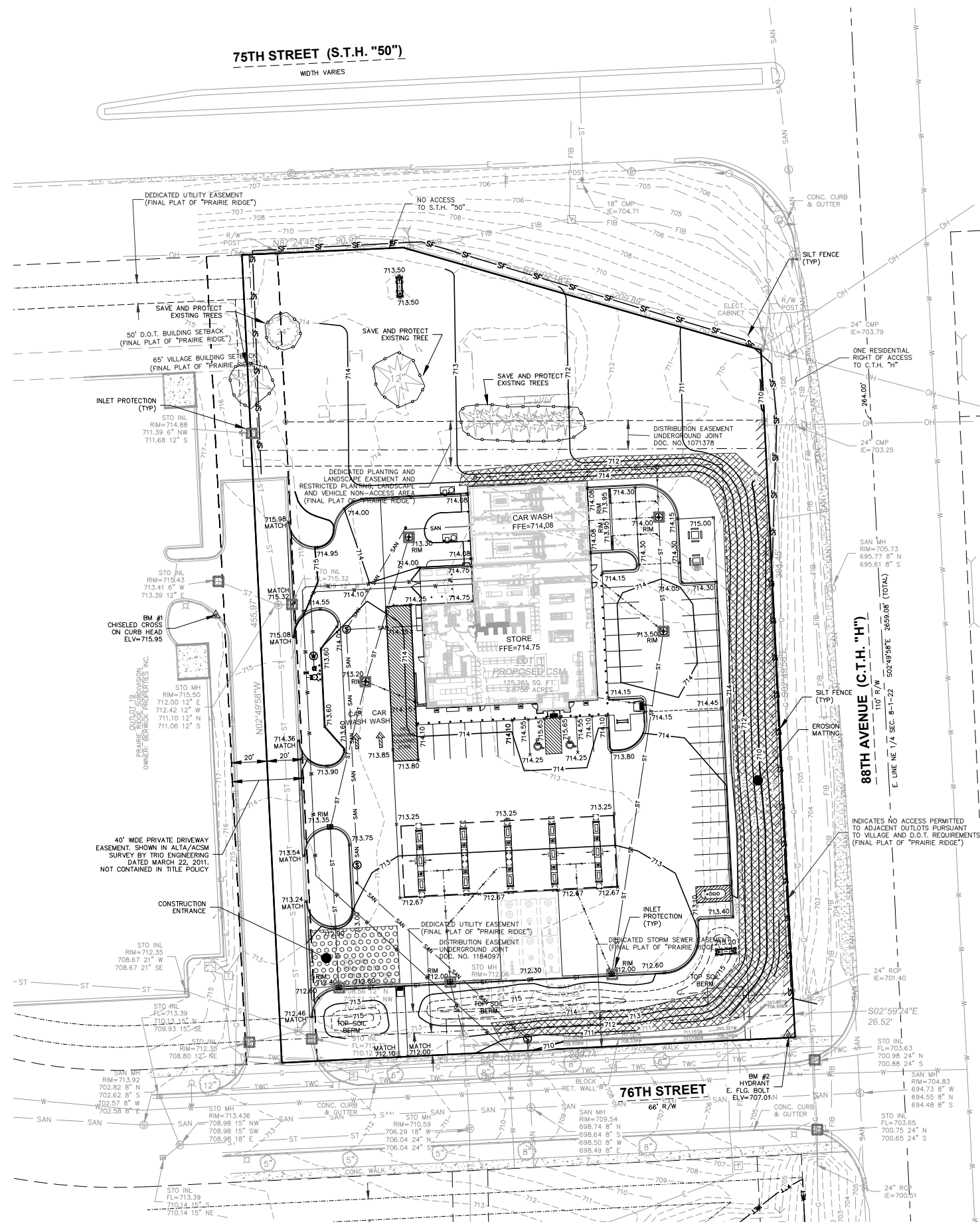
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APPENDIX 3

Design Details

- SWMP GRADING PLAN (SP3.0)
- SWMP DETAILS (SP3.1)
- SWMP UTILITY PLAN (SP4.0)





CONSTRUCTION SITE SEQUENCING

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GRADING NOTES

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
6. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
7. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURN OVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
8. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
9. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
10. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
11. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
12. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
14. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
16. SEE SHEET SP4 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM MANHOLE
- ⊕ CATCH BASIN ROUND
- ⊕ CATCH BASIN SQUARE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL MANHOLE
- ⊕ SIGN
- ⊕ POWER POLE
- ⊕ GUY WIRE
- SAN — SANITARY SEWER
- W — WATER MAIN
- ST — STORM SEWER
- G — UNDERGROUND GAS
- E — UNDERGROUND ELECTRIC
- T — UNDERGROUND TELEPHONE
- FIB — UNDERGROUND FIBER OPTICS
- OH — OVERHEAD UTILITY
- SF — SILT FENCE
- ☼ CONFERENTIAL TREE
- ☼ DECIDUOUS TREE

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 MILWAUKEE, WISCONSIN 53186
 262.513.0000 PHONE | 262.513.1232 FAX

MADISON | MILWAUKEE | KENOSHA | APPLETON

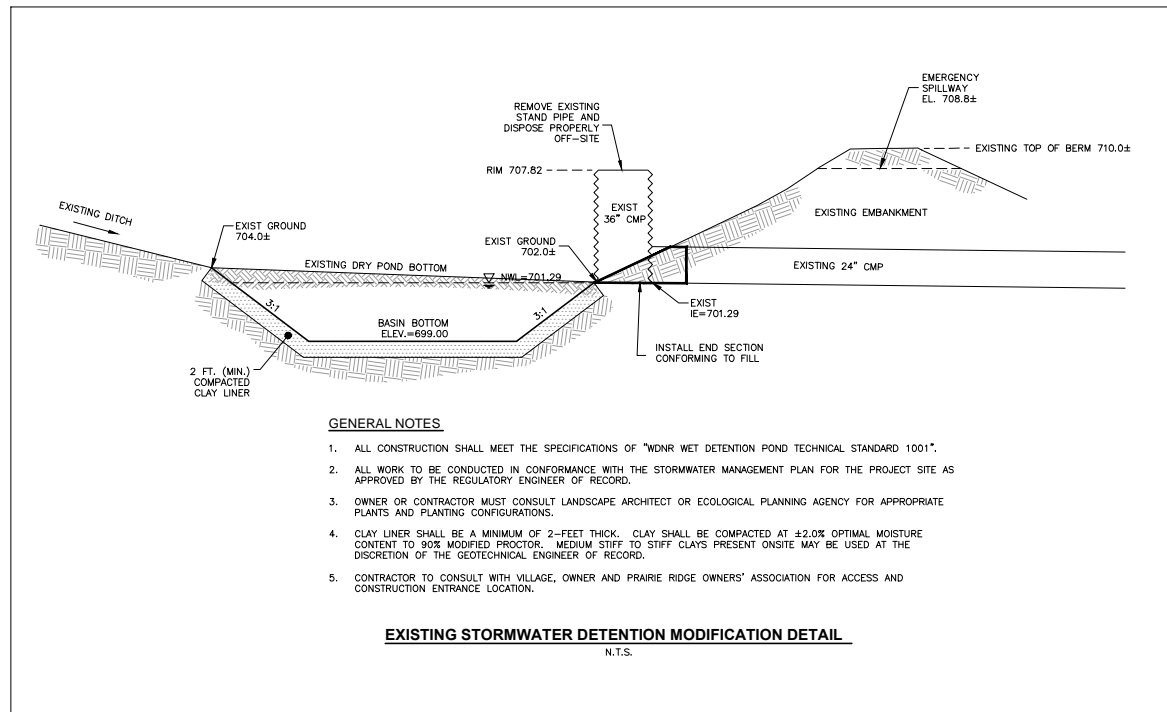
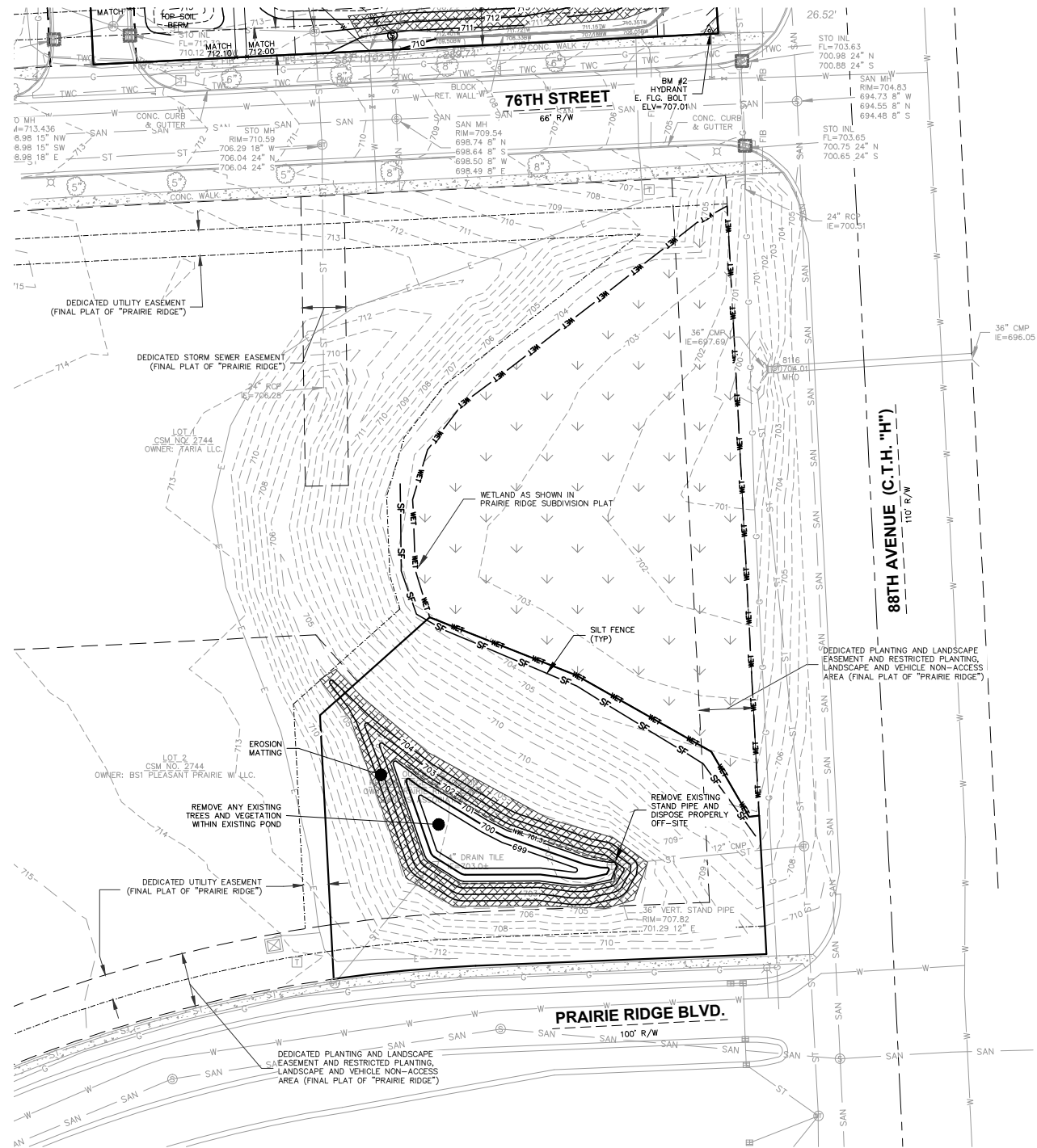
GRADING AND EROSION CONTROL PLAN

CONVENIENCE STORE #172 WITH DOUBLE BAY CARWASH

C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: JSK/RWI
 SCALE: 1" = 30'
 JSD PROJ. NO.: 14-6612A
 DATE: 02-15-2015
 SHEET: **SP3.0**



GENERAL NOTES

1. ALL CONSTRUCTION SHALL MEET THE SPECIFICATIONS OF "WDNR WET DETENTION POND TECHNICAL STANDARD 1001".
2. ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORMWATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER OF RECORD.
3. OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
4. CLAY LINER SHALL BE A MINIMUM OF 2-FEET THICK. CLAY SHALL BE COMPACTED AT ±2.0% OPTIMAL MOISTURE CONTENT TO 90% MODIFIED PROCTOR. MEDIUM STIFF TO STIFF CLAYS PRESENT ONSITE MAY BE USED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER OF RECORD.
5. CONTRACTOR TO CONSULT WITH VILLAGE, OWNER AND PRAIRIE RIDGE OWNERS' ASSOCIATION FOR ACCESS AND CONSTRUCTION ENTRANCE LOCATION.

EXISTING STORMWATER DETENTION MODIFICATION DETAIL

N.T.S.

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STORES

KWIK STAR
STORES

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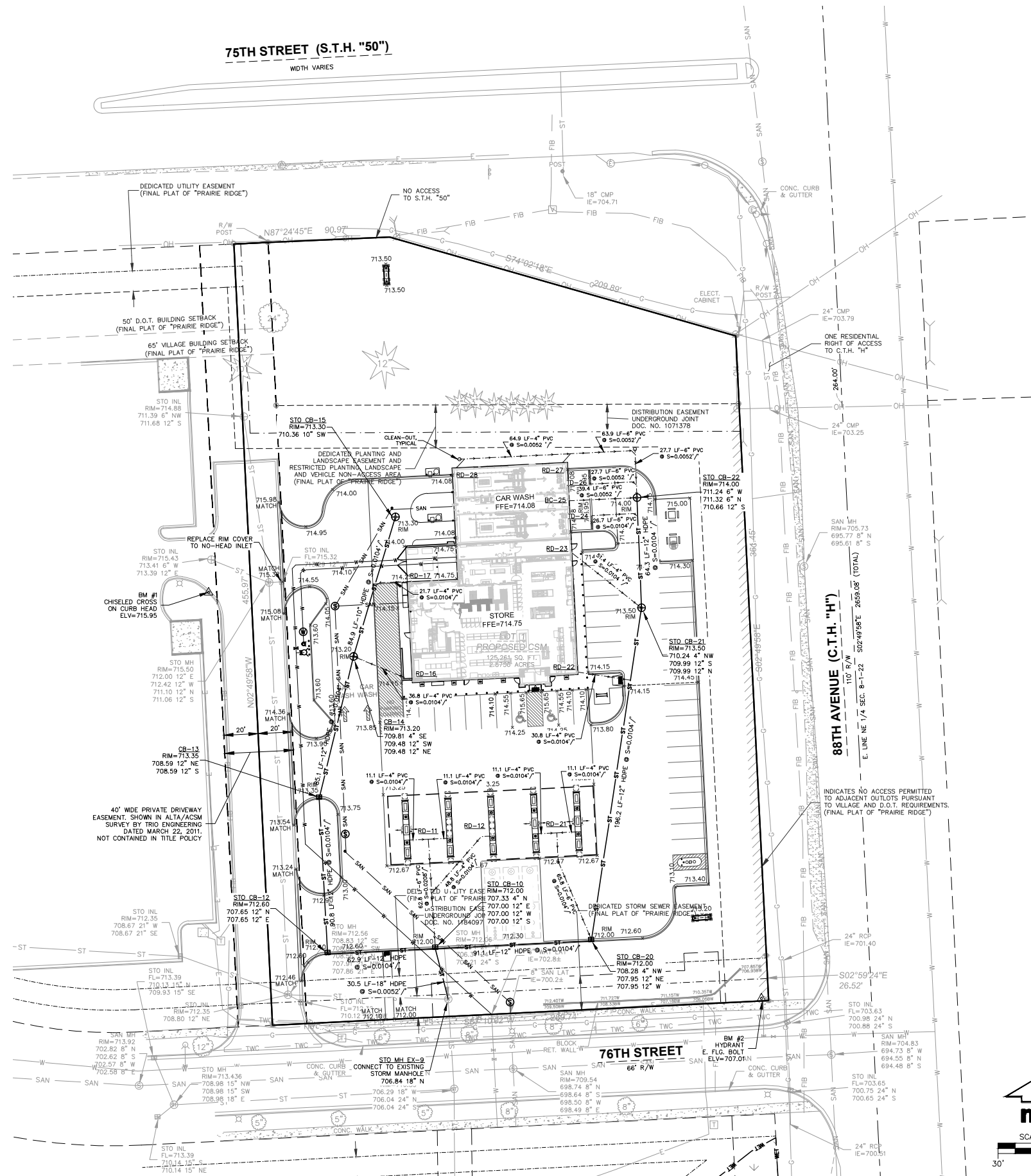
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**GRADING AND EROSION CONTROL
PLAN - OFFSITE IMPROVEMENTS
CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH**

C.T.H. "H" AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY: JSK/RWI
SCALE: 1" = 30'
JSD PROJ. NO.: 14-6612A
DATE: 02-15-2015
SHEET: **SP3.1**



UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THEREOF. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN (WISCONSIN LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
- TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND VILLAGE OF PLEASANT PRAIRIE REQUIREMENTS.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- CATCH BASINS CB-10, CB-11 AND CB-21 SHALL BE TRAPPED CATCH BASINS WITH AN ELBOW FITTING ON THE OUTLET PIPE TO PREVENT DISCHARGE OF OIL/GAS SHEEN. OWNER SHALL REGULARLY MONITOR CATCH BASINS FOR EVIDENCE OF PETROLEUM AND/OR DEBRIS. OWNER SHALL BE RESPONSIBLE FOR CLEANING OF CATCH BASINS.
- STORM SEWER SPECIFICATIONS -
PIPE-HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S", OR POLYVINYL CHLORIDE (PVC)-CLASS PS46 MEETING AASHTO M278, AS NOTED.
INLETS/CATCH BASINS-INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2501 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3007, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN.
BACKFILL AND BEDDING-STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS-MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
FIELD TILE CONNECTION-ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- WATER MAIN SPECIFICATIONS -
PIPE-WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS.
VALVES AND VALVE BOXES-GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS AND ENCLOSED IN A RISER BOX WITH WATER ON THE COVER.
HYDRANTS-HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
BEDDING AND COVER MATERIAL-PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS, OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL-BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
PIPE-SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35 WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL-BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A) BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
BACKFILL-BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES-MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE.
MANHOLE FRAMES AND COVERS-MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1580 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
SAMPLING MANHOLES-SAMPLING MANHOLE SHALL MEET THE STANDARDS OF A TYPICAL MINIMUM 48-INCH DIAMETER SANITARY MANHOLE, WITH ECCENTRIC CONE AS SPECIFIED IN CHAPTER 405 OF THE MUNICIPAL CODE WITH A PRIMARY FLOW MEASURING DEVICE INSTALLED.
FRAME AND GRATE SHALL BE NEENAH R-1580 WITH TYPE "B" NON-ROCKING FRAME AND COVER. MANHOLE CASTING SHALL HAVE AN EXTERNAL CHIMNEY SEAL.
PRIMARY FLOW MEASURING DEVICE SHALL BE A PALMER-BOWBUS FLOWMETER WITH INTEGRAL APPROACH SECTION. FLOWMETER SHALL BE BASED UPON LATERAL PIPE SIZE AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND TOLERANCES.
NO HORIZONTAL ALIGNMENT CHANGES SHALL BE ALLOWED AT THE SAMPLING MANHOLE.
THE SAMPLING MANHOLE SHALL BE LOCATED TO ALLOW EASY ACCESS FOR UTILITY CREWS.
- WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 4 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.)
- TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- ALL NEW ON-SITE SANITARY, STORM, AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE ENGINEERING DEPARTMENT (262-948-8951) 48-HOURS IN ADVANCE OF SANITARY, WATER, AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

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UTILITY PLAN
STORM SEWER

CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH

C.T.H. 'H' AND 76TH ST.
VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

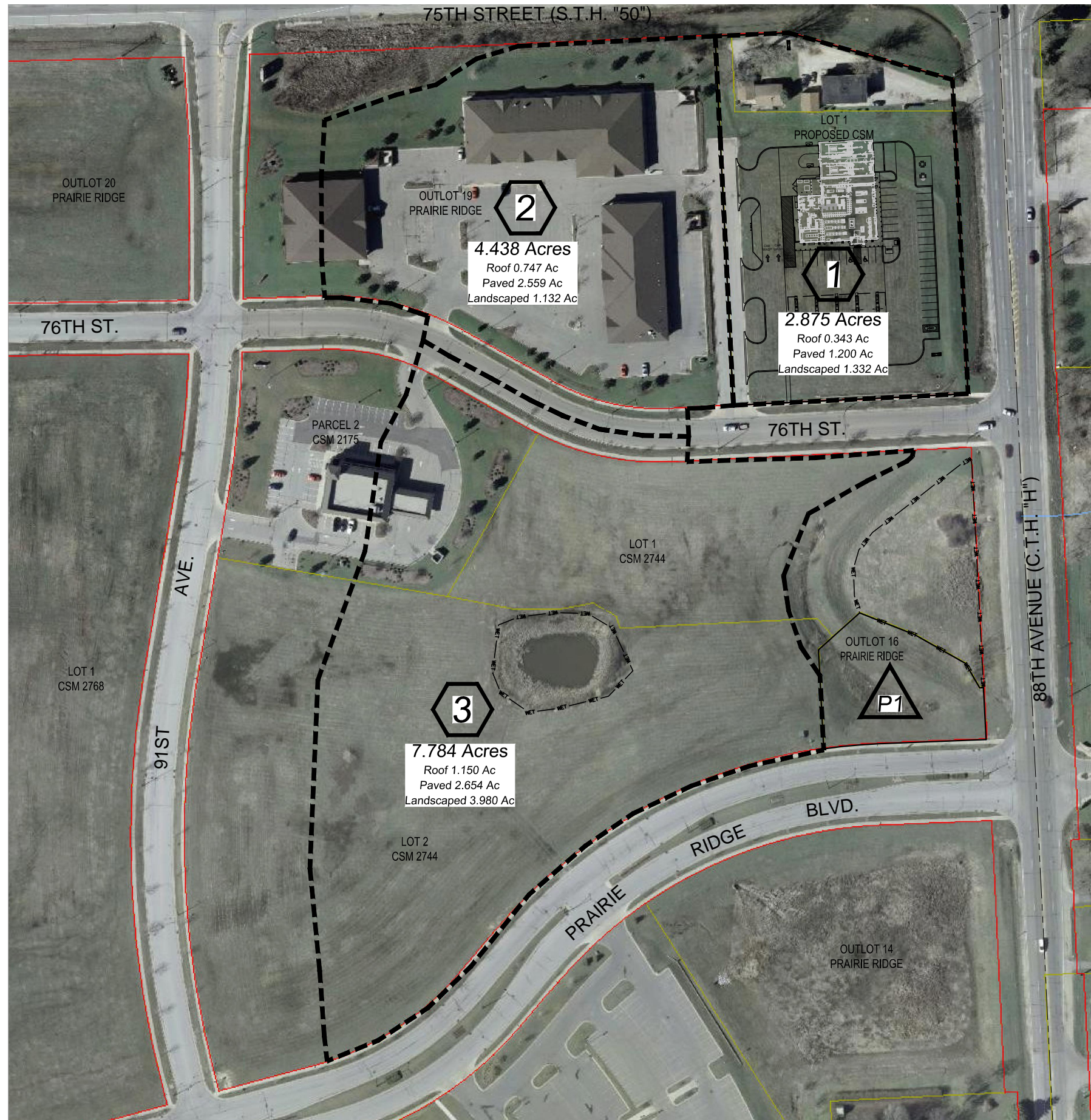
DRAWN BY: JSK/RWI
SCALE: 1" = 30'
JSD PROJ. NO.: 14-6612A
DATE: 02-15-2015
SHEET: SP4.0

APPENDIX 4

Water Quality Calculations

- SWMP HYDROLOGY MAP (H-1)
- PRAIRIE RIDGE GRADING PLAN (SHEET 17 OF 19)
- SLAMM INPUT
- SLAMM OUTPUT





WinSLAMM INPUT SUMMARY

LU# 1 - Commercial: KwikTrip 172 Total area (ac): 2.875
 1 - Roofs 1: 0.343 ac. Pitched Connected
 13 - Paved Parking 1: 1.200 ac. Connected
 45 - Large Landscaped Areas 1: 1.332 ac. Clayey Low Density

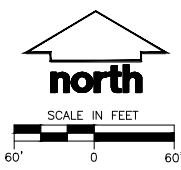
LU# 2 - Commercial: Outlot 19 Total area (ac): 4.438
 1 - Roofs 1: 0.747 ac. Pitched Disconnected Clayey Low Density
 13 - Paved Parking 1: 2.559 ac. Connected
 45 - Large Landscaped Areas 1: 1.132 ac. Clayey Low Density

LU# 3 - Commercial: Sites W of Pond Total area (ac): 7.784
 1 - Roofs 1: 1.150 ac. Pitched Connected
 13 - Paved Parking 1: 2.654 ac. Connected
 45 - Large Landscaped Areas 1: 3.980 ac. Clayey Low Density

Control Practice 1: Wet Detention Pond CP# 1 (DS) - DS Wet Pond # 1
 Particle Size Distribution file name: C:\WinSLAMM Files\NURP.CPZ
 Initial stage elevation (ft): 3.2
 Peak to Average Flow Ratio: 3.8
 Maximum flow allowed into pond (cfs): No maximum value entered
 Outlet Characteristics:
 Outlet type: Orifice 1
 1. Orifice diameter (ft): 1
 2. Number of orifices: 1
 3. Invert elevation above datum (ft): 3.2

WinSLAMM OUTPUT SUMMARY

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	750575	-	109.2	5117	-
Outfall Total with Controls:	749443	0.15%	63.37	2965	42.06%
Annualized Total After Outfall Controls:	759852			3006	



THIS DRAWING SHALL BE USED AS A WATERSHED REFERENCE ONLY

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PROPOSED HYDROLOGY

CONVENIENCE STORE #172
WITH DOUBLE BAY CARWASH

C.T.H. "H" AND 76TH ST.
 VILLAGE OF PLEASANT PRAIRIE, WI

#	DATE	DESCRIPTION

DRAWN BY	JSK/RWI
SCALE	1" = 60'
JSD PROJ. NO.	14-6612A
DATE	02-15-2015
SHEET	H-1

MASTER GRADING PLAN

75TH STREET C.T.H. 50

91ST AVENUE

88TH AVENUE C.T.H. H

THIS PLAN CONTAINS FINAL GRADING LEVELS. REFER TO ITERIM GRADING PLAN AS CONTAINED ON EROSION CONTROL PLANS FOR PROJECT.

SCALE: 1" = 40'-0"

LEGEND

- 695 — Proposed Contour
- 695 — Existing Contour
- Lines of Grading
- - - Wetland Line
- Direction of Flow
- 698.5 — Proposed Spot Grade
- 701.3 — Existing Spot Grade
- 709.0 — Proposed Garage Floor and/or Finish Yard Grade

ISOLATED WETLAND AREA

DETENTION AREA
100 YR WATER SURFACE
ELEVATION = 716.7 FT.



Losik & Assoc., Inc.

Michael J. Losik & Assoc., Inc.

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(262) 544-4393

DATE	DESCRIPTION
8-20-88	REVISION 1
9-4-88	REVISION 2
10-18-88	REVISION 3
12-8-88	REVISION 4
5-22-97	ROADS COMPLETED
8-22-97	CONTOUR
10-10-97	PLAN SHEET

This drawing is an indication of work to be done and does not constitute a contract. The contractor shall be responsible for the location of all utilities and for the protection of all existing utilities.

PRAIRIE RIDGE

PLEASANT PRAIRIE, WISCONSIN

MASTER GRADING PLAN

SHEET 17 OF 19

JUNE 14, 1996

14C6612 KwikTrip172 - InputData.txt

Data file name: R:\2014\14C6612 Kwik Trip - Pleasant Prairie\stormwater\Slamm\14C6612 KwikTrip172.mdb
WinSLAMM Version 10.0.2
Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN
Particulate Solids Concentration file name: C:\WinSLAMM Files\WI_AVG01.pscx
Runoff Coefficient file name: C:\WinSLAMM Files\v10 WI_SL06 Dec06.rsv
Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO02.ppd
Cost Data file name:
Seed for random number generator: -42
Study period starting date: 01/05/69 Study period ending date: 12/31/69
Start of Winter Season: 12/06 End of Winter Season: 03/28
Date: 02-12-2015 Time: 09:07:51
Site information:

LU# 1 - Commercial: KwikTrip 172 Total area (ac): 2.875
1 - Roofs 1: 0.343 ac. Pitched Connected
13 - Paved Parking 1: 1.200 ac. Connected
45 - Large Landscaped Areas 1: 1.332 ac. Clayey Low Density

LU# 2 - Commercial: Outlot 19 Total area (ac): 4.438
1 - Roofs 1: 0.747 ac. Pitched Disconnected Clayey Low Density
13 - Paved Parking 1: 2.559 ac. Connected
45 - Large Landscaped Areas 1: 1.132 ac. Clayey Low Density

LU# 3 - Commercial: Sites W of Pond Total area (ac): 7.784
1 - Roofs 1: 1.150 ac. Pitched Connected
13 - Paved Parking 1: 2.654 ac. Connected
45 - Large Landscaped Areas 1: 3.980 ac. Clayey Low Density

Control Practice 1: Wet Detention Pond CP# 1 (DS) - DS Wet Pond # 1
Particle Size Distribution file name: C:\WinSLAMM Files\NURP.CPZ
Initial stage elevation (ft): 3.2
Peak to Average Flow Ratio: 3.8
Maximum flow allowed into pond (cfs): No maximum value entered
Outlet Characteristics:
Outlet type: Orifice 1
1. Orifice diameter (ft): 1

14C6612 KwikTrip172 - InputData.txt

- 2. Number of orifices: 1
- 3. Invert elevation above datum (ft): 3.2

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	1.00	0.0200	0.00	0.00
2	2.00	0.0350	0.00	0.00
3	3.00	0.0520	0.00	0.00
4	4.00	0.0710	0.00	0.00
5	5.00	0.0930	0.00	0.00
6	6.00	0.1170	0.00	0.00
7	7.00	0.1590	0.00	0.00
8	8.00	0.2140	0.00	0.00
9	9.00	0.2720	0.00	0.00
10	10.00	0.3320	0.00	0.00
11	11.00	0.3930	0.00	0.00

14C6612 KwikTrip172 - Output Summary.txt

SLAMM for Windows Version 10.0.2
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Data file name: R:\2014\14C6612 Kwik Trip - Pleasant Prairie\stormwater\Slamm\14C6612 KwikTrip172.mdb
 Data file description:
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN
 Particulate Solids Concentration file name: C:\WinSLAMM Files\WI_AVG01.pscx
 Runoff Coefficient file name: C:\WinSLAMM Files\v10 WI_SLO6 Dec06.rsv
 Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GE002.ppd
 Start of Winter Season: 12/06 End of Winter Season: 03/28
 Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69
 Date of run: 02-12-2015 Time of run: 09:07:37
 Total Area Modeled (acres): 15.097
 Years in Model Run: 0.99

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	750575	-	109.2	5117	-
Outfall Total with Controls:	749443	0.15%	63.37	2965	42.06%
Annualized Total After Outfall Controls:	759852			3006	

3/20/15

DRAFT**AGREEMENT REGARDING DIGITAL SECURITY IMAGING SYSTEM ("DSIS")
BETWEEN THE VILLAGE OF PLEASANT PRAIRIE
AND KWIK TRIP, INC. – STORE #172**

THIS AGREEMENT regarding the Digital Security Imaging System (DSIS) (hereinafter referred to as the "Agreement"), is entered into this _____ **day of** _____, **2015**, by and between the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation with offices located at 9915 39th Avenue, Pleasant Prairie, Wisconsin 53158 (referred to as the "Village") and Kwik Trip, Inc., a Wisconsin Corporation with a business address of 1626 Oak Street, La Crosse, WI 54602-2107 (referred to as "Kwik Trip Convenience Store #172"). In this Agreement, Kwik Trip is referred to as the "Owner".

WITNESSETH:

WHEREAS, the Village Board conditionally approved Certified Survey Map (CSM) # _____ on _____, 2015 to develop an approximate 2.8756 acre parcel. The Owner of the real estate commonly known as Lot 1 of CSM # _____, **(Exhibit A)** was recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin as Document No. _____, as being a part of the Northeast One-Quarter of the Northeast One-Quarter of U.S. Public Land Survey Section 8, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin. Lot 1 is further identified as Village Tax Parcel # 92-4-122-081-_____ and known as the "Owner's Property" in this Agreement; and

WHEREAS, the Owner's Property is presently zoned B-2, Community Business District, PUD, Planned Unit Development Overlay District with a Conditional Use Permit granted by the Village Plan Commission on March 23, 2014, which zoning classification and special use permit allows for the development and operation of a commercial gas station, convenience store and car wash subject to certain conditions as noted in the attached Conditional Use Permit; **(Exhibit B)** and

WHEREAS, The Owner desires to proceed with the development of the Kwik Trip #172 gasoline and convenience store located on the Owner's Property with an address of 8900 76th Street, Pleasant Prairie, WI 53158, consisting of a 10,150 square foot facility which includes a 10,150 square foot convenience store, car wash and 26 gasoline dispensers under a canopy on an 2.8756-acre development site; and

WHEREAS, the Owner is proposing a gasoline/fueling facility, convenience store and dual lane car wash, which is proposed to open to the public, only between the hours of 5:00 a.m. to 12:00 midnight up to seven days per week. The hours for gasoline and convenience store deliveries, as requested, shall only be between 4:00 a.m. and midnight. The gasoline pumps and car wash shall not be operated

unattended, no 24-hour gas pump and no 24-hour car wash services are allowed. Direct driveway access to the Kwik Trip # 172 shall be provided through three (3) driveways from an existing private driveway extended north from 76th Street. The private driveway shared with the adjacent property to the west has a Cross Access Easement Agreement for public vehicular and pedestrian access, driveway and property maintenance, landscaping and snowplowing. The Easement Agreement is recorded at the Kenosha County Register of Deeds office; and

WHEREAS, the Village Plan Commission conditionally approved the Final Site and Operational Plans for proposed Kwik Trip #172 on March 23, 2015; and

WHEREAS, Section 420-145 E. and F of the Village Conditional Use Permit regulations of the Village Zoning Ordinance provides authority for the Village Plan Commission to require additional provisions such as a Digital Security Imaging System (DSIS) in order to assist in protecting the public's health, safety and welfare as referenced below in the Village Security Ordinance; and

WHEREAS, the implementation and usage of the DSIS will greatly aid law enforcement agencies in subsequent criminal investigations and prosecutions because of the advanced visual assessment of the Property as it may pertain to a person or persons (personal identification), a location (scene identification) and/or a situation (action identification) in emergency situations; and

WHEREAS, the implementation and usage of the DSIS will greatly aid Village fire and rescue personnel in responding to emergency situations at the Owner's Property; and

WHEREAS, Section 410-7 of the referenced Security Ordinance Chapter of the General Code of the Village provides the authority to the Community Development Department to have the discretion, on a case by case basis, to determine the adequacy, ownership and easement requirements of the DSIS. Further, the Community Development Department has the right to modify certain requirements of Chapter 410 pertaining to the details of the security system, and the Department has agreed to do so, based upon this Agreement being executed between the parties; and

WHEREAS, the Owner and the Village Community Development Department have reached an agreement under Section 410-7 that the Owner shall install, inspect and maintain the DSIS per the Village's Security Ordinance requirements, except as modified by this Agreement. Further, the Owner shall grant a **DSIS Access Easement** to the Village allowing access and maintenance rights to the Kwik Trip #172 DSIS system and areas associated with the DSIS insofar as the Village has the right, but not the obligation, to maintain the DSIS system at the Owner's cost, if the Owner fails to do so; and

WHEREAS, the Owner recognizes that the Village may incur some inspection or maintenance costs with respect to the inspection or maintenance of the DSIS system on the Owner's Property and said costs shall be provided to the Owner via

an itemized invoice. The Owner has agreed to reimburse the Village for certain referenced costs related to the DSIS system monitoring and inspection, provided however that such cost shall be reasonable and directly attributable to Owner.

NOW, THEREFORE, in consideration of the promises and covenants contained herein, the sufficiency of which is hereby acknowledged, the Owner and the Village agree as follows:

1. Video Surveillance and Easement Requirements. As a pre-condition to the Village granting any temporary or verbal building occupancy permits requested by the Owner for the Kwik Trip gasoline/fueling facility, car wash and Convenience Store #172 to be occupied, the Owner shall install, make operable and usable to the satisfaction of the Village, the on-site DSIS for security surveillance purposes. The DSIS shall be the system described in **Exhibit C** (on file with the Village Police Department) which was created pursuant to the proposal prepared by Brett Gooden, with Loss Prevention Offices located at Kwik Trip, Inc. P.O. Box 1597, 1626 Oak Street, La Crosse, WI 54602-1597; 1-(877) 594-5874, for the Owner, with the plans and video surveillance hardware specifications received _____, 2015, the details of which are on file with the Village Police Department. The Owner will hire a qualified contractor who shall install the DSIS. During the installation of the DSIS as provided herein, the Village shall have the right to inspect the DSIS at the Owner's expense.

After the installation, and Village inspection and system testing is complete, and if it meets with the approval of the Village, the Village shall notify the Owner of the Village's acceptance of the DSIS. The Owner agrees to sign and deliver to the Village copies of any and all documents (e.g. DSIS installation and warranty information, copies of paid invoices for the work performed, copies of contractor lien waivers and an as-built drawing of the DSIS) that are reasonably requested by the Village to confirm such installation and operation of the DSIS to the Village. The DSIS shall be installed with at least a one (1) year warranty from the manufacturer and installer. The Owner shall be solely responsible for the costs for the purchase and installation and the subsequent ongoing maintenance of the DSIS.

In the event that the Owner alters the building, adds on to the building or otherwise changes or increases the landscaping or development on their Property, such Owner shall be responsible for installing, at the Owner's sole expense, such additional cameras and other exterior DSIS as the Village determines are necessary and appropriate to carry out the purposes of this Agreement. The initial DSIS system installed in accordance with **Exhibit C** and any future additions to such system as exterior building alterations or changes within the development or new or additional development takes place on the Owners' Property, shall all be referred to as the "DSIS" for purposes of this Agreement.

a. Digital Security Imaging, Storage Devices, Related Equipment and Easements Required.

i. The DSIS shall provide for surveillance of the exterior building perimeters, building entrance/exit areas, rear and side areas, walkways, picnic areas and parking lots and entrances within the development. The DSIS as described in **Exhibit C** shall adequately cover the Owner's Property as the Village deems reasonably necessary. If any changes or expansions are made to any portion of the Owner's Property, the determination as to the number and type of cameras which are reasonably necessary for the Village's surveillance needs shall rest within the reasonable discretion of the Village. All parties acknowledge it is the intent of the parties that the DSIS camera equipment will be located on exterior light standards of the Owner's Property and attached via non-penetrating building mounts, as shown on **Exhibit C**. Any DSIS equipment added after any physical changes to the Kwik Trip # 172 Property shall be completed by Kwik Trip and shall be at the sole discretion of the Village. Kwik Trip #172 will utilize its best efforts to ensure that the DSIS is as aesthetically tasteful and architecturally harmonious as reasonably possible. Without limiting the discretion of the Village under this Paragraph, the parties agree that any cameras and systems which are consistent with those contained in **EXHIBIT C** are aesthetically tasteful, architecturally harmonious and satisfactory to all parties.

ii. The DSIS will function as set forth in **Exhibit C** and as deemed necessary by the Village, which shall function continuously, whether the business is open or closed and shall provide visible surveillance to the above described areas during hours of daylight and darkness. As such, sufficient light, as determined by the Village, shall be provided during the evening or night-time hours to guarantee the function, operation and clear viewing by the infra-red camera system.

iii. The Owner agrees to provide the DSIS in a locked and secured location within the Kwik Trip Convenience Store #172 facility on the Owner's Property that will be accessible for inspection and electronically accessed via a separate VPN internet connection with the assistance of the Owner. The Owner agrees that only managerial employees of the Owner, any contractors to the extent necessary for installation, maintenance and repair of the DSIS, and representatives of the Village for inspection, shall have access to the secured location. The Owner shall provide the Village access to the secured location as provided herein upon reasonable verbal or written advance notice from the Village to Owner. Notice given twenty-four (24) or more hours in advance shall conclusively be deemed reasonable and notice given less than twenty-four (24) hours in advance may also be reasonable depending upon the circumstances.

iv. The Owner agrees to be responsible for all financial costs associated with the monthly billings for the utilities, electricity and high speed internet business connection for the DSIS equipment by making payments directly to the utility and communication companies. The Owner shall also be responsible

for the heat, electricity and routine maintenance of the secured security area which houses the DSIS equipment.

v. All digital video recorded by such system shall be archived in the secured area for a period of not less than two (2) weeks and shall be available to the Village Police Department for public safety purposes directly through Internet Protocol (IP) transmission via the Village's area-wide data network and shall also provide a "real time", "live look" surveillance capability via that same network. The Village Police Department shall have log-in capabilities to the DSIS "live-look" system on the Property independent of the Owner's personnel. In addition, Village fire and rescue personnel may also view the digital video and live stream from the DSIS to assist them in responding to any emergency on the Owner's Property. Proper software security keys and logins will be provided to the Village Police and IT Departments to provide immediate access to both "real time" access as well as historical video as required.

vi. The Owner shall grant a permanent Access Easement to the Village allowing access and maintenance rights, if the Owner fails to maintain the DSIS, to all such systems, equipment, devices and areas associated with the DSIS. The Village shall have the right, but not the obligation, to maintain the DSIS system at the financial cost of the Owner. All expenses incurred by the Village for the maintenance of the DSIS shall be paid to the Village by the Owner within thirty (30) days following written demand by the Village. At the time of the execution of this Agreement by the Owner, the Owner shall also execute the recordable Access Easement document attached hereto as **Exhibit D** and incorporated herein by reference.

b. Costs for the Video Surveillance System.

i. The Owner shall have exclusive ownership and sole responsibility for the installation, operation, monitoring and maintenance of the DSIS. The Owner further covenants to operate and update and maintain the DSIS in good condition and repair. The Owner shall be responsible for the: (a) costs of installation, (b) internet connection for the DSIS with a static IP address assigned to the DSIS connection and (c) inspection, equipment maintenance, repairs, insurance, and replacement and upgrading of the DSIS as necessary with such upgrading as needed being only for a reasonably comparable replacement of any equipment then being used in the DSIS.

ii. As referenced above, the Owner has agreed to provide utilities to serve both the DSIS equipment and the secured area housing the DSIS. The Owner, at its sole cost and expense, shall also provide a conduit running to the security cameras as described in **Exhibit C** for low voltage as well as a separate conduit running to the cameras for high voltage. The Owner shall provide a business broadband internet connection to serve the DSIS. This broadband internet connection shall represent a clear, non-pixelated video image transmission to the Village Police Department and shall be reasonably acceptable to the Village IT Department.

c. Termination. The Owner may not terminate the DSIS at any time without prior written approval and notice from the Village. The Owner shall notify the Village Police Department Dispatch Center via the telephone and by U.S. mail to the persons as noted below whenever the DSIS is inoperable or the DSIS is unusable due to maintenance or testing. Further, if the DSIS is deemed by the Village as being inoperable or unusable for a time period in excess of 30 days without notification to the Village, the Owner shall be deemed to be in violation of Section 410 of the Village Code.

2. Miscellaneous.

a. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin. The parties agree that any dispute under this Agreement shall be venued only in the Circuit Court for Kenosha County.

b. Attorneys' Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Agreement and the complaining party places the enforcement of all or any part of this Agreement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs incurred thereby, whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date until paid at eighteen percent (18%) per annum.

c. CCTV Video Release Statement. The Village agrees not to release any digital video recorded by the DSIS, nor any portions thereof, to the news media without providing prior notice to one of the Owner contacts listed below, including the date, time, and information regarding the incident which the video pertains to.

Loss Prevention Department (during regular business hours)
Nicole Lepsch: 608-793-6176 or nlepsch@kwiktrip.com
Tracy Molzhon: 608-793-5538 or tmolzhon@kwiktrip.com
Brett Gooden: 608-793-6190 or bgooden@kwiktrip.com
Communication Center (after hours)
608-793-6267

The Village agrees that neither digital video recorded by the DSIS, nor any portions thereof, will be released to the news media or any third-party, except as a part of the criminal justice system, to employees of the Village, and as otherwise required by applicable law, without prior investigation and proper due diligence conducted by the Village or its employees or contractors. The Owner is not responsible for conducting any investigation involving such digital video or of the matter which

constitutes the substance of the criminal investigation. The terms of this paragraph shall apply to all digital video recorded by the DSIS and obtained or used by any employee or agent of the Village.

d. Entire Agreement. This Agreement contains the entire understanding among the parties and supersedes any prior understanding and agreements between them respecting the within subject matter. There are no representations, agreements, arrangements or understandings, oral or written, between or among the parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

e. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement, or the application thereof to any party or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to the other party or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

f. Binding Agreement. This Agreement shall be binding on the parties and their successors and assigns and shall continue as a covenant and servitude running in perpetuity with the Owner's Property. This Agreement may be recorded with the Kenosha County Register of Deed's Office against the Owner's Property.

g. Notices. Any notice which a party is required or may desire to give the other party shall be in writing and may be delivered (1) personally by United States registered or certified mail, postage prepaid, or (2) by Federal Express or other reputable courier service regularly providing evidence of delivery (with charges paid by the party sending the notice). Any such notice shall be addressed as follows (subject to the right of a party to designate a different address for itself by notice similarly given):

If to the Owner: Kwik Trip, Inc.
 1626 Oak Street
 P.O. Box 1597
 La Crosse, WI 54602-1597
 Attn: See above in paragraph c.

If to the Village: Village of Pleasant Prairie
 9915 39th Avenue
 Pleasant Prairie, WI 53158
 Attn: Michael R. Pollocoff, Village Administrator

And to the Village: Village of Pleasant Prairie
Community Development Department
9915 39th Avenue
Pleasant Prairie, WI 53158
Attn: Jean M. Werbie-Harris, Community Development Director

And to the Village: Village of Pleasant Prairie - Police Department
8600 Green Bay Road
Pleasant Prairie, WI 53158
Attn: David Smetana, Police Chief

h. Amendment. This Agreement may not be amended, altered or modified except by an instrument in writing and signed by the parties hereto.

i. Ordinance. The DSIS program under this Agreement shall be deemed to be sufficient to meet the current requirements set forth in the Chapter 420-145, Village Zoning Ordinance Conditional Use Permit provisions and Chapter 410, Village Security Ordinance provisions of the Village Municipal Code.

j. Village's Contractors and Work. Any contractor that may come onto any Owner's Property on behalf of the Village shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (\$1,000,000) per occurrence combined single limit/One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Village shall carry similar amounts and types of insurance when it enters onto any Owner's Property, provided, such insurance may be provided through the municipal insurance plan of the Village.

k. Liens. Notwithstanding the provisions of this Agreement, the Owner shall pay promptly all persons furnishing labor or materials with respect to any work performed by the Owner or its contractors on or about any Owner's Property. If any mechanic's or other liens shall at any time be filed against any Owner's Property by reason of work, labor, services or materials performed or furnished, or alleged to have been performed or furnished, the Owner shall forthwith cause the same to be discharged of record or bonded.

l. Signing of Documents. Each party shall sign and deliver any documents which this Agreement requires such party to sign, no later than ten (10) days following written request by another party.

**VILLAGE OF PLEASANT PRAIRIE,
WISCONSIN**

By: _____
Name: John P. Steinbrink
Title: Village President

ATTEST:

By: _____
Name: Jane M. Romanowski
Title: Village Clerk

STATE OF WISCONSIN)
) SS.
COUNTY OF KENOSHA)

This instrument was acknowledged before me in Pleasant Prairie, WI on this ____ day of _____, 2015, by John P. Steinbrink and Jane M. Romanowski, as the duly authorized President and Clerk, respectively, of the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation.

Name: _____
Notary Public, State of Wisconsin
My Commission expires: _____

This instrument drafted by:

Atty. Timothy J. Geraghty
Godin Geraghty Puntillo Camilli, S.C.
6301 Green Bay Road
Kenosha, WI 53142

And

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 - 39th Avenue
Pleasant Prairie, WI 53158

EXHIBIT A
TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF CERTIFIED SURVEY MAP NO. _____

[Attached hereto]

EXHIBIT B

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF VILLAGE CONDITIONAL USE PERMIT #15-__

[Attached hereto]

EXHIBIT C

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

DSIS GENERAL PLAN

[Detailed Plan on file with the Village Police Department]

EXHIBIT D

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF ACCESS EASEMENT

[Attached hereto]

EXHIBIT E

TO AGREEMENT REGARDING DSIS SECURITY SYSTEM

COPY OF CCTV VIDEO RELEASE

[Attached hereto]

03/20/2015

ACCESS EASEMENT

DRAFT

THIS ACCESS EASEMENT is entered into **this** _____ **day of** _____, **2015** by and between the Grantor, KWIK TRIP, INC., a Wisconsin corporation (the "Landowner") and the Grantee, the VILLAGE OF PLEASANT PRAIRIE (the "Easement Holder").

RECITALS

A. The Landowner is the owner of certain real estate in the Village of Pleasant Prairie, Kenosha County, Wisconsin, which is legally described in **Exhibit A** and incorporated herein by reference (collectively the "Landowner's Property").

B. The Easement Holder has entered into a Security Agreement with the Landowner for the right but not the obligation for the installation and maintenance of an exterior Digital Security Imaging System ("DSIS") upon Landowner's Property for security surveillance purposes (the "Agreement").

C. In connection with the above-referenced Agreement, the Landowner has agreed to convey to the Easement Holder access and maintenance rights to all such systems, devices and areas associated with the DSIS.

D. The Easement Holder acknowledges and agrees that the Landowner will utilize the Landowner's Property for a gas station/fueling facility, convenience store and car wash facility known as the Kwik Trip Convenience Store #172 ("Kwik Trip #172"), and the Easement Holder shall not unreasonably interfere with said use and operation of the Landowner's Property by the Landowner.

Recording Area

Name and Return Address:

Jean M. Werbie-Harris
Community Development Dept.
Village of Pleasant Prairie
Municipal Building
9915 - 39th Avenue
Pleasant Prairie, WI 53158

Parcel Identification Number:

92-4-122-081 -____

GRANT OF ACCESS EASEMENT

In consideration of the facts recited above, the Landowner and Easement Holder agree as follows:

1. Grant of Easement. The Landowner hereby grants and conveys to the Easement Holder, its contractors and agents, a perpetual, non-exclusive, rent-free, access and maintenance easement (the "Access Easement") over and through the exterior of the improvements located on that portion of the Landowner's Property required for the installation, maintenance and use of said DSIS, related electrical work and internet access, and if applicable to a secured area generally located as described in the DSIS Security Agreement, which location may be relocated by mutual agreement of the parties (the "Easement Property"). All utility lines shall be

underground to the extent possible. The Landowner shall supply electricity, heat and internet connection services for the DSIS as provided in the Agreement.

2. Use of Access Easement. The purpose of the Access Easement is to provide for the installation, operation and maintenance of a DSIS in accordance with a Security Agreement between the parties and other property owners dated on or about _____, **2015** (the "Agreement"), the terms and conditions of which are hereby incorporated in this Access Easement. Nothing in this Access Easement is intended to prohibit use of the Access Easement area by the Landowner, provided such use does not materially interfere with the use of the Access Easement by the Easement Holder. The Easement Holder agrees that it will not materially interfere with the normal operation and use of the Landowner's Property by the Landowner and its occupants, and that its equipment shall not impair the visibility of the Kwik Trip #172 facility, site, convenience store front or signage.

3. Improvements. The Easement Holder shall have the right, but not the obligation, to construct and install reasonable improvements upon the Easement Property in accordance with the terms in the Agreement, to make the Easement Property suitable for the installation of a DSIS with as little damage to the Landowner's Property as possible. Subject to the terms of the Agreement, if the Easement Holder undertakes the installation or maintenance of the DSIS, the Easement Holder agrees to use its best efforts to make the DSIS as aesthetically tasteful and architecturally harmonious as reasonably possible while still allowing the DSIS to cover as much of the Kwik Trip #172 site as the Easement Holder deems reasonably necessary.

4. Maintenance. The Easement Holder shall have access at all times as it deems necessary for maintaining its DSIS and related equipment on the Easement Property to the extent necessary for the uses described in the Agreement. The Landowner shall pay the Easement Holder a maintenance fee and other fees as described in the Agreement if the Easement Holder undertakes inspections or takes over the responsibilities of the DSIS maintenance, provided however, that such fees shall be reasonable and directly attributable to Landowner. The Easement Holder shall provide to Landowner an itemized invoice.

5. Damage to Easement Property. The Easement Holder shall be responsible for any damage that it may cause to the Easement Property. The Easement Holder shall promptly make all needed repairs, promptly after such damage, restoring the Easement Property to its condition prior to the damage. The Landowner shall promptly make any needed repairs to the Landowner's Property and the DSIS equipment that the Landowner may damage.

6. Obstructions to Use of the Easement Property. The Easement Holder may not utilize the Easement Property in a way that materially interferes with its use by any other person permitted to use it. The Easement Holder acknowledges and agrees that the Landowner's and its future owners or tenants' use of the Landowner's Property may include if permitted by the Village, outdoor events that may occur on the Landowner's Property, which such uses may be allowed, and shall not be considered an obstruction or impediment to the Access Easement. Furthermore, the Easement Holder acknowledges and agrees that the Landowner has the right to modify and

construct new improvements on the Landowner's Property, albeit with the necessary permits, and if said improvements interfere with use of the Access Easement by the Easement Holder, then the Landowner shall bear all costs and responsibility to relocate the DSIS equipment or modify its use of the Easement Property.

7. Indemnity/Insurance/Liens. All costs of installation, operation, and maintenance of the Easement Property and any improvements the Landowner installs thereon will be the responsibility of the Landowner as described in the Agreement, provided however, that such costs shall be reasonable and directly attributable to Landowner. The Easement Holder shall provide to Landowner an itemized invoice.

Any contractor coming onto the Easement Property and/or the Landowner's Property on behalf of the Easement Holder shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (1,000,000) per occurrence combined single limit/ One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Easement Holder shall carry similar amounts and types of insurance when it enters onto the Easement Property and/or the Landowner's Property, provided, such insurance may be provided through the municipal insurance plan of Easement Holder. In connection with any installation, operation, maintenance or inspection of the Easement Property by the Easement Holder or its agents, employees or contractors, the Easement Holder shall indemnify, defend and hold harmless the Landowner from and against any lien, suit, loss, cost, expense (including reasonable attorneys' fees), personal injury, bodily injury or property damage arising from or relating to such activities of the Easement Holder, its agents, contractors or engineers on the Landowner's Property.

Nothing contained herein shall alter or eliminate any obligations of the Landowner to reimburse the Easement Holder for costs and expenses, as provided in the DSIS.

8. Enforcement of Agreement. The Landowner and Easement Holder shall have the right to legally enforce this Access Easement and the covenants, conditions and restrictions set forth herein, by whatever action or actions are legally available, including, without limitation, enjoining any violation or threatened violation hereof.

9. Amendments. This Access Easement may not be modified, amended or terminated except by execution and recording of a written instrument signed by both the Landowner and Easement Holder.

10. Successors. All of the terms, covenants, conditions, and obligations set forth in this Access Easement and the Agreement shall inure to the benefit of and bind the Landowner and Easement Holder, and their respective personal representatives,

heirs, successors, transferees, assigns, and all future owners of the Landowner's property this Access Easement and the Agreement shall continue as a servitude running in perpetuity with the Landowner's Property.

11. CCTV Video Release. The Village agrees not to release any digital video recorded by the DSIS, nor any portions thereof, to the news media without providing prior notice to one of the Owner contacts listed below, including the date, time, and information regarding the incident which the video pertains to.

Loss Prevention Department (during regular business hours)
Nicole Lepsch: 608-793-6176 or nlepsch@kwiktrip.com
Tracy Molzhon: 608-793-5538 or tmolzhon@kwiktrip.com
Brett Gooden: 608-793-6190 or bgooden@kwiktrip.com
Communication Center (after hours)
608-793-6267

The Easement Holder agrees that neither digital video recorded by the DSIS, nor any portions thereof, will be released to the news media or any third-party, except as a part of the criminal justice system, to employees of the Easement Holder, and as otherwise required by applicable law, without prior investigation and proper due diligence conducted by the Easement Holder or its employees or contractors. The Landowner is not responsible for conducting any investigation involving such digital video or of the matter which constitutes the substance of the criminal investigation. The terms of this paragraph shall apply to all digital video recorded by the DSIS and obtained or used by any employee or agent of the Easement Holder.

12. Severability. If any provision or specific application of this Access Easement is found to be invalid by a court of competent jurisdiction, the remaining provisions or specific applications of this Access Easement shall remain valid and binding.

13. Governing Law. This Access Easement shall be governed by and construed under the laws of the State of Wisconsin. The parties agree that any dispute hereunder shall be venued only in the Circuit Court for Kenosha County.

14. Attorneys' Fees and Interest. If either party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Access Easement and the complaining party places the enforcement of all or any part of this Access Easement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall accrue interest from the due date until paid at eighteen percent (18%) per annum.

IN WITNESS WHEREOF, KWIK TRIP, INC. has executed this Access Easement this _____ day of _____, 2015.

KWIK TRIP, INC.

By: _____

Name: Stephen D. Loehr

Title: Vice President

STATE OF WISCONSIN)
) SS.
COUNTY OF _____)

This instrument was acknowledged before me in _____, Wisconsin on this ___ day of _____, 2015, by _____, (name) as the duly authorized _____ (title) of KWIK TRIP, INC.

Name: _____
Notary Public, State of _____
My Commission expires: _____

[More signatures to follow]

EXHIBIT A

Legal Description of Landowner's Property

LOT 1 OF CERTIFIED SURVEY MAP # _____ RECORDED AS DOCUMENT # _____ AT THE KENOSHA COUNTY REGISTER OF DEEDS OFFICE AND FURTHER IDENTIFIED AS PART OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF U.S. PUBLIC LAND SURVEY SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WI. THE SITE CONTAINS APPROXIMATELY 2.3739 ACRES MORE OR LESS.

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #15-07
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the zoning fees imposed by the Village for zoning permits and applications are proposed to be re-evaluated.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Board hereby initiates and petitions to amend the Village Zoning Ordinance as it relates to the zoning permit and application fees; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 23rd day of March 2015.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted:

07-Zoning Fee amend

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #15-08
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the Village staff is proposing to re-evaluate the Home Occupation Permit as it relates to a proposed ordinance related to Business Licenses.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Commission hereby initiates and petitions to re-evaluate the home occupation permit requirements, and associated fees or definitions as the Village drafts a new Business License Ordinance; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 23rd day of March 2015.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted:

08-Home Occupation Amend

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #15-09
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the Village staff is proposing to amend the Pet and Animal regulations related to the number of horses allowed in any agricultural district on lots that are less than 10 acres but at least five acres.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Commission hereby initiates and petitions to re-evaluate and clarify the number of horses allowed in Agricultural Zoning Districts; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 23rd day of March 2015.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted:

09-Pet and Animal clarification-horses

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #15-10
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the Village staff is proposing to re-evaluate and amend the Zoning procedures for zoning and sign permits related to submittal requirements, time limits and notification of approval and denial of both zoning and sign permits.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Commission hereby initiates and petitions to re-evaluate the Zoning procedures for zoning and sign permits; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 23rd day of March 2015.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted:

10-Permits procedures-Zoning and Sign Permits

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #15-11
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the Village staff is proposing to re-evaluate and amend the Temporary Use Permits requirements (to be renamed to Temporary Use Licenses) requirements as it relates to temporary handicapped ramps and on-site construction trailers in Residential Zoning Districts and temporary use licenses for Mass Assemblies.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Commission hereby initiates and petitions to re-evaluate the temporary use requirements; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 23rd day of March 2015.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Donald Hackbarth
Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted:

11-Temporary Use Permits